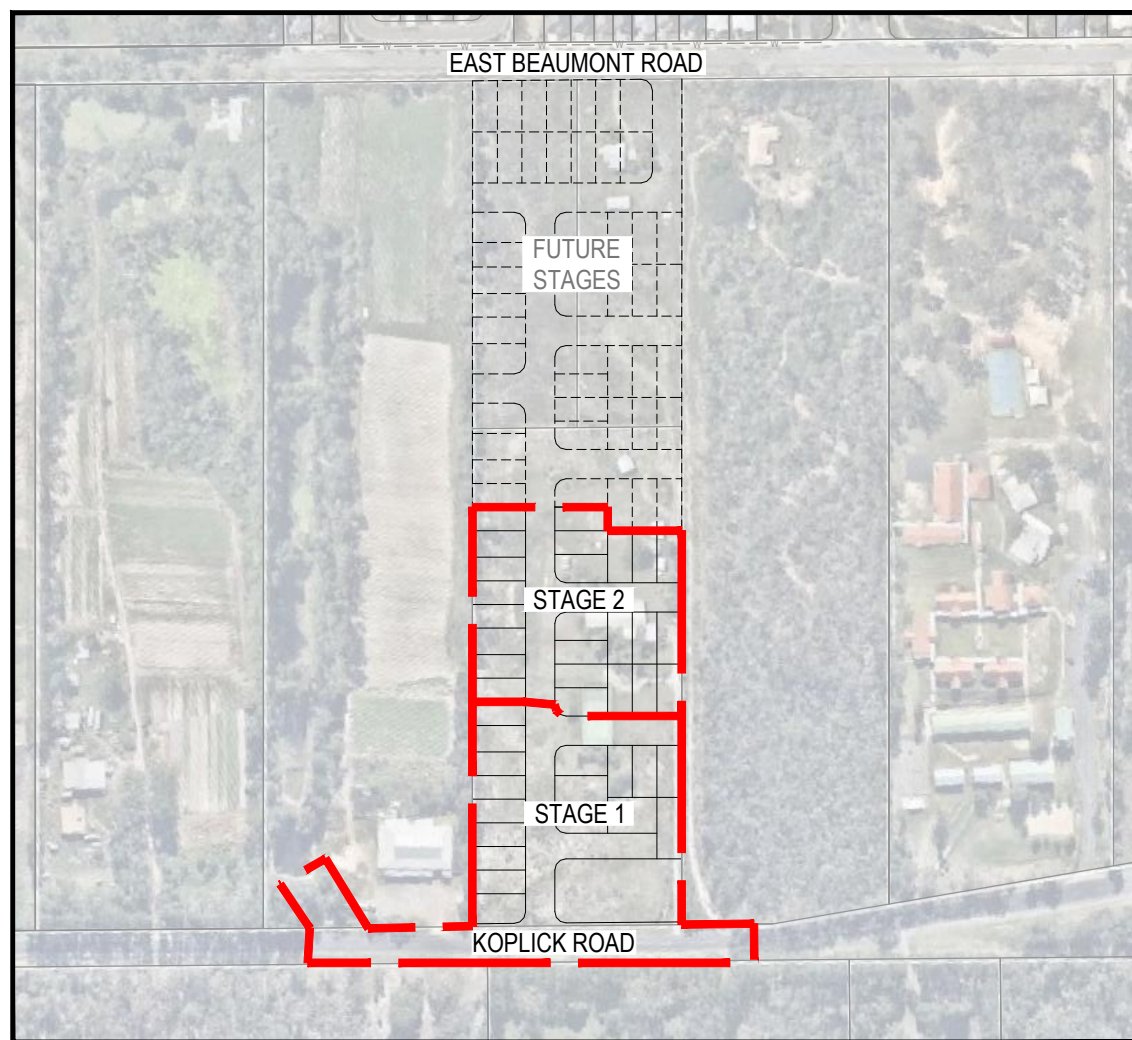


PROPOSED RESIDENTIAL SUBDIVISION (STAGES 1 AND 2)

87 - 93 KOPLICK ROAD, PARK RIDGE
FOR 'KOPLICK DEVELOPMENTS PTY LTD'

DRAWING LIST

- 18-0114-100 COVER PLAN
- EARTHWORKS, ROADWORKS AND DRAINAGE**
- 18-0114-101 BULK EARTHWORKS LAYOUT PLAN
- 18-0114-102 BULK EARTHWORKS SECTIONS AND DETAILS PLAN
- ~~18-0114-103 ROADWORKS AND DRAINAGE LAYOUT PLAN~~
- ~~18-0114-104 SURVEY SETOUT AND KERB TYPES LAYOUT PLAN~~
- ~~18-0114-105 ROAD 1 LONGITUDINAL SECTION~~
- ~~18-0114-106 ROAD 1 CROSS SECTIONS~~
- ~~18-0114-107 ROAD 6 LONGITUDINAL SECTION AND CROSS SECTIONS~~
- ~~18-0114-108 ROAD 7 LONGITUDINAL SECTION AND CROSS SECTIONS~~
- ~~18-0114-109 ROAD 8 LONGITUDINAL SECTION AND CROSS SECTIONS~~
- ~~18-0114-110 KOPLICK ROAD LIP 1 LONGITUDINAL SECTION AND CROSS SECTIONS~~
- ~~18-0114-111 KOPLICK ROAD LIP 2 LONGITUDINAL SECTION AND CROSS SECTIONS~~
- ~~18-0114-112 KOPLICK ROAD LIP 3 LONGITUDINAL SECTION AND CROSS SECTIONS~~
- ~~18-0114-113 INTERSECTION DETAILS LAYOUT PLAN~~
- ~~18-0114-114 SIGNS AND LINEMARKING LAYOUT PLAN~~
- ~~18-0114-115 STORMWATER DRAINAGE CATCHMENT LAYOUT PLAN~~
- ~~18-0114-116 STORMWATER DRAINAGE LONGITUDINAL SECTIONS SHEET 1~~
- ~~18-0114-117 STORMWATER DRAINAGE LONGITUDINAL SECTIONS SHEET 2~~
- ~~18-0114-118 STORMWATER DRAINAGE CALCULATION TABLES SHEET 1~~
- ~~18-0114-119 STORMWATER DRAINAGE CALCULATION TABLES SHEET 2~~
- ~~18-0114-120 STORMWATER DRAINAGE STRUCTURE DETAILS SHEET 1~~
- ~~18-0114-121 STORMWATER DRAINAGE STRUCTURE DETAILS SHEET 2~~
- ~~18-0114-122 STORMWATER DRAINAGE STRUCTURE DETAILS SHEET 3~~
- ~~16-0001-0~~
- STORMWATER QUALITY**
- ~~18-0114-200 BIO RETENTION / DETENTION BASIN LAYOUT PLAN~~
- ~~18-0114-201 BIO RETENTION / DETENTION BASIN TYPICAL SECTIONS~~
- ~~18-0114-202 BIO RETENTION / DETENTION BASIN TYPICAL NOTES AND DETAILS~~
- ~~16-0001-0~~
- SEWERAGE AND WATER RETICULATION**
- ~~18-0114-300 SEWERAGE RETICULATION INTERNAL WORKS LAYOUT PLAN~~
- ~~18-0114-301 SEWERAGE RETICULATION LONGITUDINAL SECTIONS SHEET 1~~
- ~~18-0114-302 SEWERAGE RETICULATION LONGITUDINAL SECTIONS SHEET 2~~
- ~~18-0114-303 SEWERAGE RETICULATION LONGITUDINAL SECTIONS SHEET 3~~
- ~~18-0114-304 WATER RETICULATION INTERNAL WORKS LAYOUT PLAN~~
- EROSION AND SEDIMENT CONTROL**
- 18-0114-400 CONCEPT EROSION AND SEDIMENT CONTROL LAYOUT PLAN



LOCALITY PLAN
SCALE 1:2000 (A1)
SCALE 1:4000 (A3)

PROJECT INFORMATION SUMMARY:
No. OF LOTS = 41
AREA OF SITE = 2.4 ha
RP DESCRIPTION LOT 15 ON RP 899708 LOT 100 ON SP 181808 LOT 101 ON SP 181808
DATUM LEVEL AND LOCATION P.S.M. 153245 RL 42.221 AHD LOCATED E:2153.465 N:4999.305
LOCAL AUTHORITY: LOGAN CITY COUNCIL
COUNCIL REFERENCE NUMBER: COM/17/2018

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH:
- LANDSCAPE ARCHITECT'S PLANS
- ELECTRICAL, COMMUNICATIONS AND GAS CONSULTANT'S PLANS
- SAFETY IN DESIGN REPORT

LOGAN CITY COUNCIL
APPROVED PLAN OF DEVELOPMENT
This is the approved plan of development for Development Application
OW/52/2020

REV	DATE	DESIGN	DRAWN	REVISION DETAILS	DRAWN	STATUS	SCALE	CLIENT	PROJECT NAME	DRAWING TITLE
1	28-06-19	RD	RD	ORIGINAL ISSUE	MH	NOT FOR CONSTRUCTION	1:2500 50 0 50 100 A1 1:5000	KOPLICK DEVELOPMENTS PTY LTD	PROPOSED RESIDENTIAL SUBDIVISION (STAGES 1 AND 2)	COVER PLAN
2	03.09.19	RD	RD	DRAWING 122 ADDED	MH					
DESIGN APPROVED TROY SCHULTZ RPEQ 20631 FOR AND ON BEHALF OF PEAKURBAN PTY LTD							ENQUIRIES@PEAKURBAN.COM.AU	ASSOCIATED CONSULTANT GOODROCK PROPERTY PH: 0423 557 882	87 - 93 KOPLICK ROAD PARK RIDGE	PROJECT No. 18-0114 DRAWING No. 100 REVISION 2

LEGEND

- PROPOSED AREA OF WORKS/STAGE BOUNDARY
- PROPOSED SURFACE CONTOUR
- EXISTING SURFACE CONTOUR
- PROPOSED EARTHWORKS PAD SETBACK LINE
- PROPOSED CONCRETE SLEEPER RETAINING WALL
- PROPOSED 200 SERIES MASONRY BLOCKWORK RETAINING WALL
- (0.60) RETAINING WALL EXPOSED HEIGHT (AVERAGE)
- 24.60 PROPOSED FINISHED SURFACE LEVEL (FSL) (INCLUDES TOPSOIL PLACEMENT)
- 24.60 EXISTING SURFACE LEVEL (ESL)
- PROPOSED AREA OF CUT
- PROPOSED AREA OF FILL
- INDICATIVE DRIVEWAY LOCATIONS
- ZERO LOT BOUNDARY
- EXISTING STORMWATER DRAINAGE PIPE
- EXISTING ELECTRICAL CABLE O/H
- EXISTING DRAIN

VOLUMES:
 CUT: 9530m³
 FILL: 20500m³
 (BALANCE = 10970m³ IMPORT)

LOGAN CITY COUNCIL
APPROVED PLAN OF DEVELOPMENT
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OW/52/2020

GENERAL NOTES:

1. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, PLANT AND EQUIPMENT TO CONSTRUCT THE WORKS AS DOCUMENTED AND STRICTLY IN ACCORDANCE WITH THE RELEVANT AUTHORITY STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. THE EXISTING SERVICES THAT ARE SHOWN ON THE DRAWINGS ARE PROVIDED FOR INFORMATION PURPOSES ONLY. NO RESPONSIBILITY IS TAKEN BY THE SUPERINTENDENT OR THE PRINCIPAL FOR INFORMATION THAT HAS BEEN SUPPLIED BY OTHERS, OR ANY EXISTING SERVICES THAT MAY BE PRESENT NOT SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE POSITION OF ANY UNDERGROUND SERVICES WITHIN THE AREAS OF WORKS AND SHALL BE RESPONSIBLE FOR MAKING GOOD ANY DAMAGE THERETO. ANY ALTERATION WORKS TO SERVICES WILL BE CARRIED OUT ONLY BY THE SERVICE OWNER AUTHORITY UNLESS APPROVED OTHERWISE.
3. ALL CONSTRUCTION ACTIVITIES UNDERTAKEN SHALL COMPLY WITH CURRENT WORKPLACE HEALTH AND SAFETY REQUIREMENTS AND LEGISLATION.
4. PRIOR TO COMMENCING WORK, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL RELEVANT LOCAL AUTHORITY PERMITS.
5. THE CONTRACTOR SHALL NOT COMMENCE THE DEMOLITION OF ANY EXISTING BUILDINGS AND/OR STRUCTURES WITHOUT APPROVAL FROM THE SUPERINTENDENT.
6. THE CONTRACTOR SHALL APPLY INDUSTRY BEST PRACTICE SO WORKS SHALL NOT DISTURB OR AFFECT NEARBY RESIDENTS EITHER BY DUST, NOISE, FLOODING OR DISCONNECTION OF SERVICES. CONTRACTOR TO ENSURE THAT ACCESS AND SERVICES TO EXISTING PROPERTIES ARE AVAILABLE AT ALL TIMES.
7. THE CONTRACTOR SHALL VERIFY LEVELS OF EXISTING SERVICE CROSSINGS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF WORKS AND NOTIFY SUPERINTENDENT OF ANY DISCREPANCIES BETWEEN ACTUAL AND PROPOSED DESIGN LEVELS.
8. THESE ENGINEERING DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE APPROVED VEGETATION MANAGEMENT PLAN, WHERE APPLICABLE. WHEN IN DOUBT, ALL EXISTING TREES ARE TO REMAIN UNLESS DIRECTED OTHERWISE.
9. HOLD POINT: ONCE THE BASE OF MANHOLES, INSPECTION PITS, GULLIES AND FIELD INLETS FOR STORMWATER DRAINAGE AND SEWER RETICULATION HAVE BEEN POURED, CONSTRUCTION SHALL ONLY RE-COMMENCE ONCE THE SUPERINTENDENT AND/OR ENGINEER HAVE INSPECTED THE WORKS.
10. THE CONTRACTOR SHALL NOTE DURING THE COURSE OF THE WORKS WHEN JOINT INSPECTIONS WITH THE AUTHORITY AND THE SUPERINTENDENT ARE REQUIRED. THESE INCLUDE PRE-STARTS, SUBGRADES, PRE-SEALS, CLEARING, AND OTHER SUCH INSPECTIONS AS NOMINATED IN THE APPROVAL AND THE SPECIFICATIONS. THE CONTRACTOR SHALL ENSURE NO WORKS PROCEED PAST THE INSPECTION POINT UNTIL THE JOINT INSPECTION HAS BEEN SUCCESSFULLY COMPLETED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SAFE MOVEMENT OF TRAFFIC AND THE PROTECTION OF PERSON AND PROPERTY THROUGH AND AROUND THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC MANAGEMENT INCLUDING THE DESIGN, CONSTRUCTION, MAINTENANCE AND REMOVAL OF TEMPORARY ROADWAYS, DETOURS, SIGNS, LIGHTS AND BARRIER AS REQUIRED STRICTLY IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.

BULK EARTHWORKS NOTES

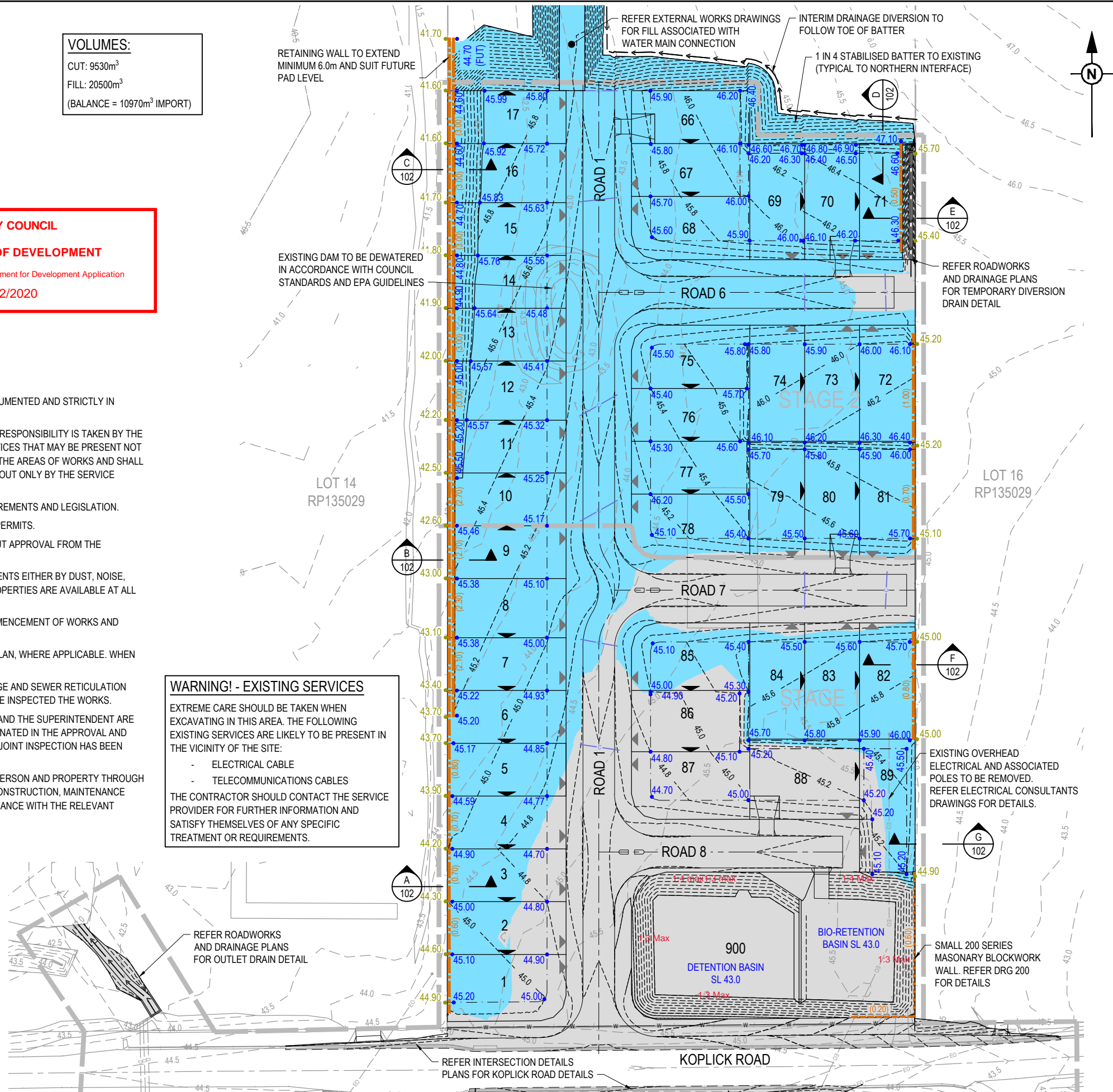
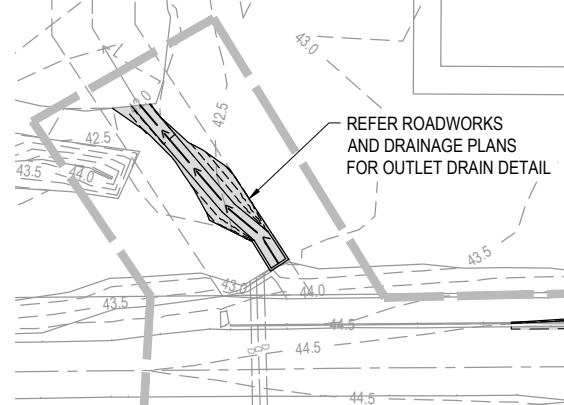
1. NOTWITHSTANDING THE EXTENTS OF CUTTING AND FILLING SHOWN ON DRAWINGS, THE SUPERINTENDENT RESERVES THE RIGHT TO ADJUST THE FINISHED SURFACE LEVELS AND EARTHWORKS EXTENTS THROUGH WRITTEN DIRECTION.
2. THE CONTRACTOR SHALL UNDERTAKE ALL CLEARING USING INDUSTRY BEST PRACTICE INCLUDING CONSIDERATION OF FAUNA RELOCATION.
3. THE CONTRACTOR SHALL UNDERTAKE ALL EARTHWORKS IN ACCORDANCE WITH AS3798-2007 AND LOCAL AUTHORITY REQUIREMENTS. LEVEL 1 SUPERVISION IS REQUIRED.
4. THE CONTRACTOR SHALL CONSIDER LOADS GENERATED BY THE EARTHWORKS OPERATIONS SO AS TO AVOID DAMAGE TO ALL PIPES, SERVICES AND STRUCTURES.
5. THE EARTHWORKS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT'S SEDIMENT AND EROSION CONTROL PLAN, WHERE APPLICABLE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANNING, DESIGN, CERTIFICATION, IMPLEMENTATION AND MAINTENANCE OF AN EROSION AND SEDIMENT CONTROL PLAN THAT IS COMPLIANT WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION (IECA) GUIDELINE 'BEST PRACTICE EROSION AND SEDIMENT CONTROL' AND RELEVANT COUNCIL POLICIES.

WARNING! - EXISTING SERVICES

EXTREME CARE SHOULD BE TAKEN WHEN EXCAVATING IN THIS AREA. THE FOLLOWING EXISTING SERVICES ARE LIKELY TO BE PRESENT IN THE VICINITY OF THE SITE:

- ELECTRICAL CABLE
- TELECOMMUNICATIONS CABLES

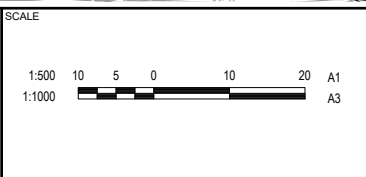
THE CONTRACTOR SHOULD CONTACT THE SERVICE PROVIDER FOR FURTHER INFORMATION AND SATISFY THEMSELVES OF ANY SPECIFIC TREATMENT OR REQUIREMENTS.



REV	DATE	DESIGN	DRAWN	REVISION DETAILS
1	28-06-19	RD	RD	ORIGINAL ISSUE
2	03-09-19	RD	RD	OUTLET DRAIN AND CONTOURS
3	31-10-19	RD	RD	BASIN AMENDED AND LOT 71 AMENDED

NOT FOR CONSTRUCTION

DESIGN APPROVED
TROY SCHULTZ
 RPEQ 20631

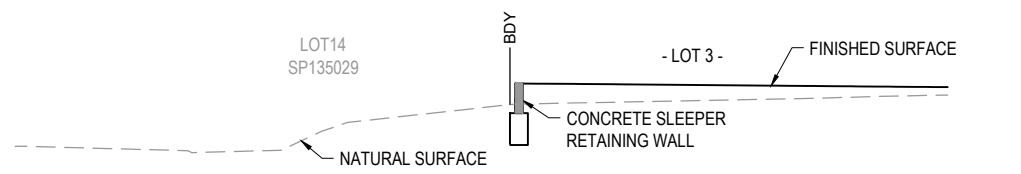


CLIENT
KOPLICK DEVELOPMENTS PTY LTD

ASSOCIATED CONSULTANT
 GOODROCK PROPERTY
 PH: 0423 557 882

PROJECT NAME
PROPOSED RESIDENTIAL SUBDIVISION (STAGES 1 AND 2)
 87 - 93 KOPLICK ROAD
 PARK RIDGE

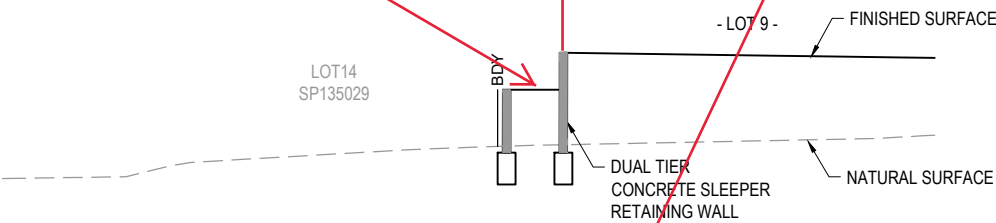
DRAWING TITLE		
BULK EARTHWORKS LAYOUT PLAN		
PROJECT No.	DRAWING No.	REVISION
18-0114	101	3



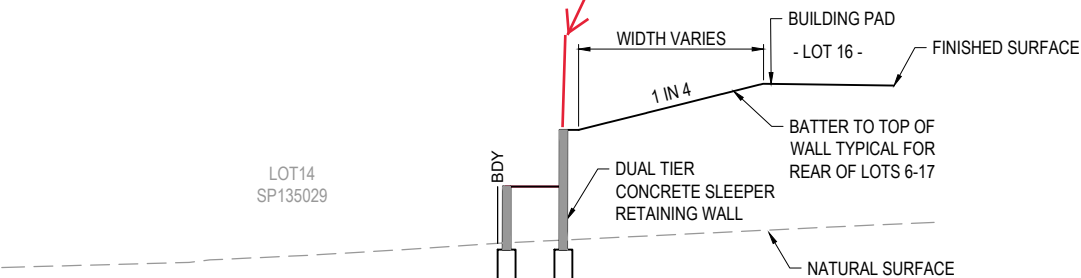
SECTION A
SCALE 1:100 (A1)
SCALE 1:200 (A3)

1.8m fence with a lockable gate to lots 6 to 17 enter to the landscaped area for maintenance to be provided prior to plan sealing.

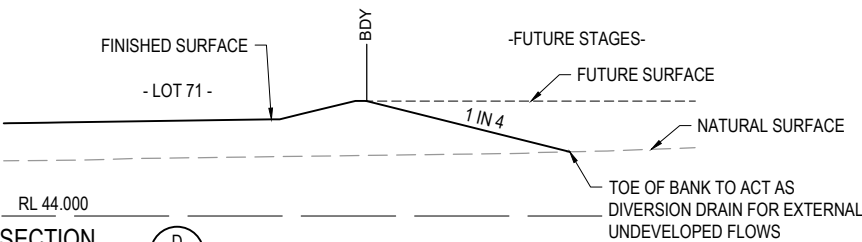
Landscaped screening to be provided



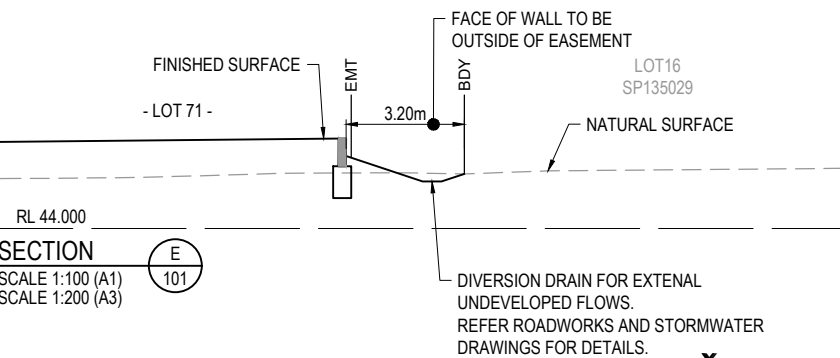
SECTION B
SCALE 1:100 (A1)
SCALE 1:200 (A3)



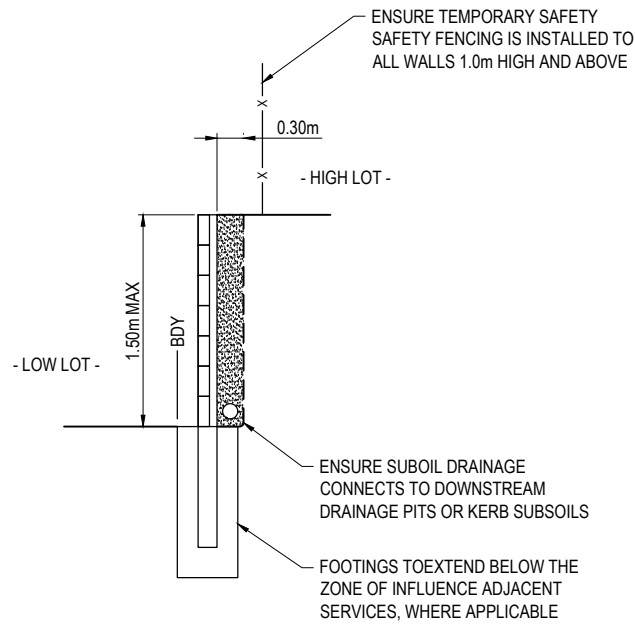
SECTION C
SCALE 1:100 (A1)
SCALE 1:200 (A3)



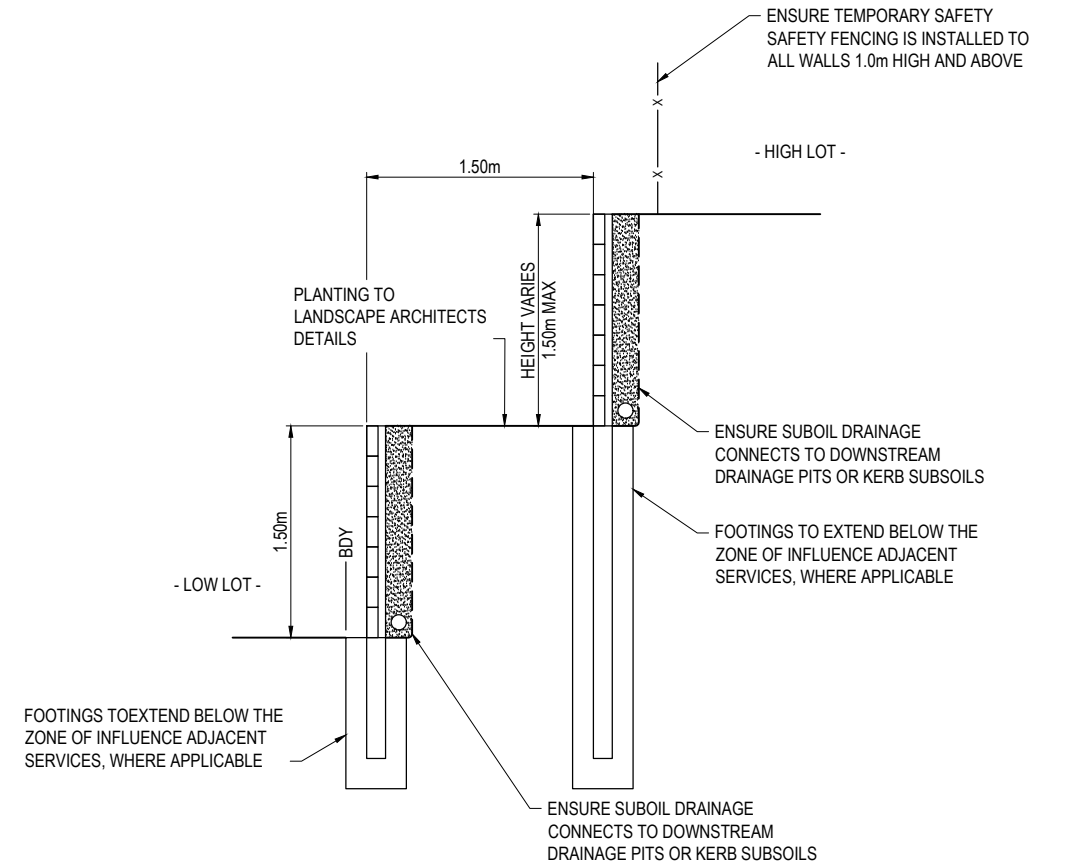
SECTION D
SCALE 1:100 (A1)
SCALE 1:200 (A3)



SECTION E
SCALE 1:100 (A1)
SCALE 1:200 (A3)

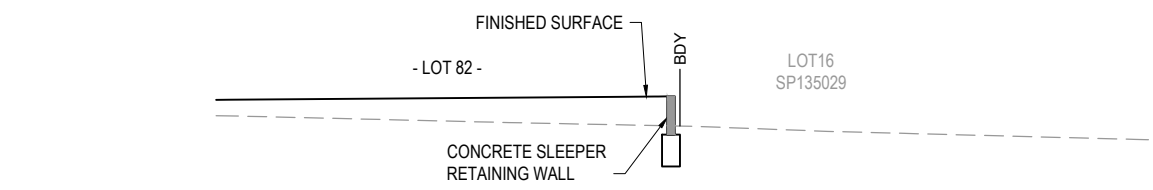


CONCRETE SLEEPER RETAINING WALL TYPICAL DETAIL
SCALE 1:25 (A1)

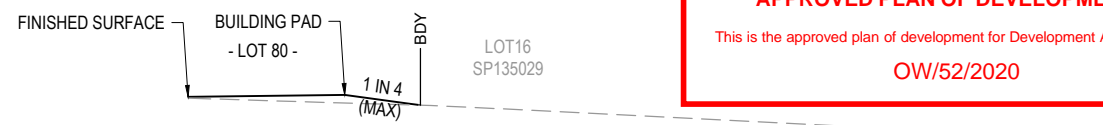


CONCRETE SLEEPER RETAINING WALL (TIERED WALL) TYPICAL DETAIL
SCALE 1:25 (A1)

- RETAINING WALL NOTES:**
1. ALL RETAINING WALLS ARE TO BE DELIVERED UNDER DESIGN AND CONSTRUCTION ARRANGEMENT - FORMS 15 AND 16 CERTIFICATIONS ARE TO BE PROVIDED BY THE CONTRACTOR.
 2. DESIGN OF WALLS TO CONSIDER ALL LOADS (FENCES, DWELLINGS ETC) AND ASSOCIATED IMPACTS FROM ANY ADJACENT SERVICES - FOOTING DEPTHS TO BE EXTENDED AS REQUIRED.
 3. GEOTECHNICAL CONDITIONS ARE TO BE CONFIRMED AND APPROPRIATELY CONSIDERED FOR ALL WALLS.
 4. REFER LANDSCAPE DRAWINGS FOR FURTHER INFORMATION ON RETAINING WALLS, PARTICULARLY RELATING TO FINISHES.
 5. TEMPORARY SAFETY FENCING TO BE INSTALLED BEHIND ALL WALLS 1.0m HIGH AND GREATER.

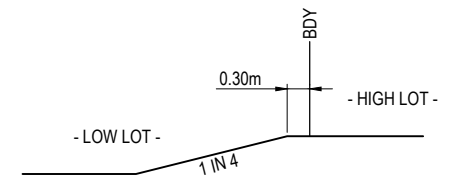


SECTION F
SCALE 1:100 (A1)
SCALE 1:200 (A3)



SECTION G
SCALE 1:100 (A1)
SCALE 1:200 (A3)

LOGAN CITY COUNCIL
APPROVED PLAN OF DEVELOPMENT
This is the approved plan of development for Development Application
OW/52/2020



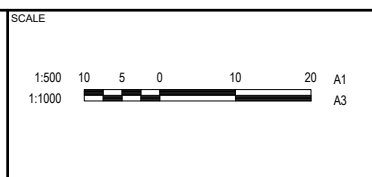
TYPICAL STEP BETWEEN LOTS DETAIL
SCALE 1:50 (A1)
SCALE 1:100 (A3)

REV	DATE	DESIGN	DRAWN	REVISION DETAILS
1	28-06-19	RD	RD	ORIGINAL ISSUE
2	03-09-19	RD	RD	SECTION E AMENDED
3	31-10-19	RD	RD	SECTION E AMENDED

NOT FOR CONSTRUCTION

DESIGN APPROVED
TROY SCHULTZ RPEQ 20631

FOR AND ON BEHALF OF PEAKURBAN PTY LTD



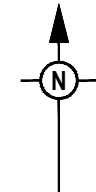
CLIENT
KOPLICK DEVELOPMENTS PTY LTD

ASSOCIATED CONSULTANT
GOODROCK PROPERTY
PH: 0423 557 882

PROJECT NAME
PROPOSED RESIDENTIAL SUBDIVISION (STAGES 1 AND 2)

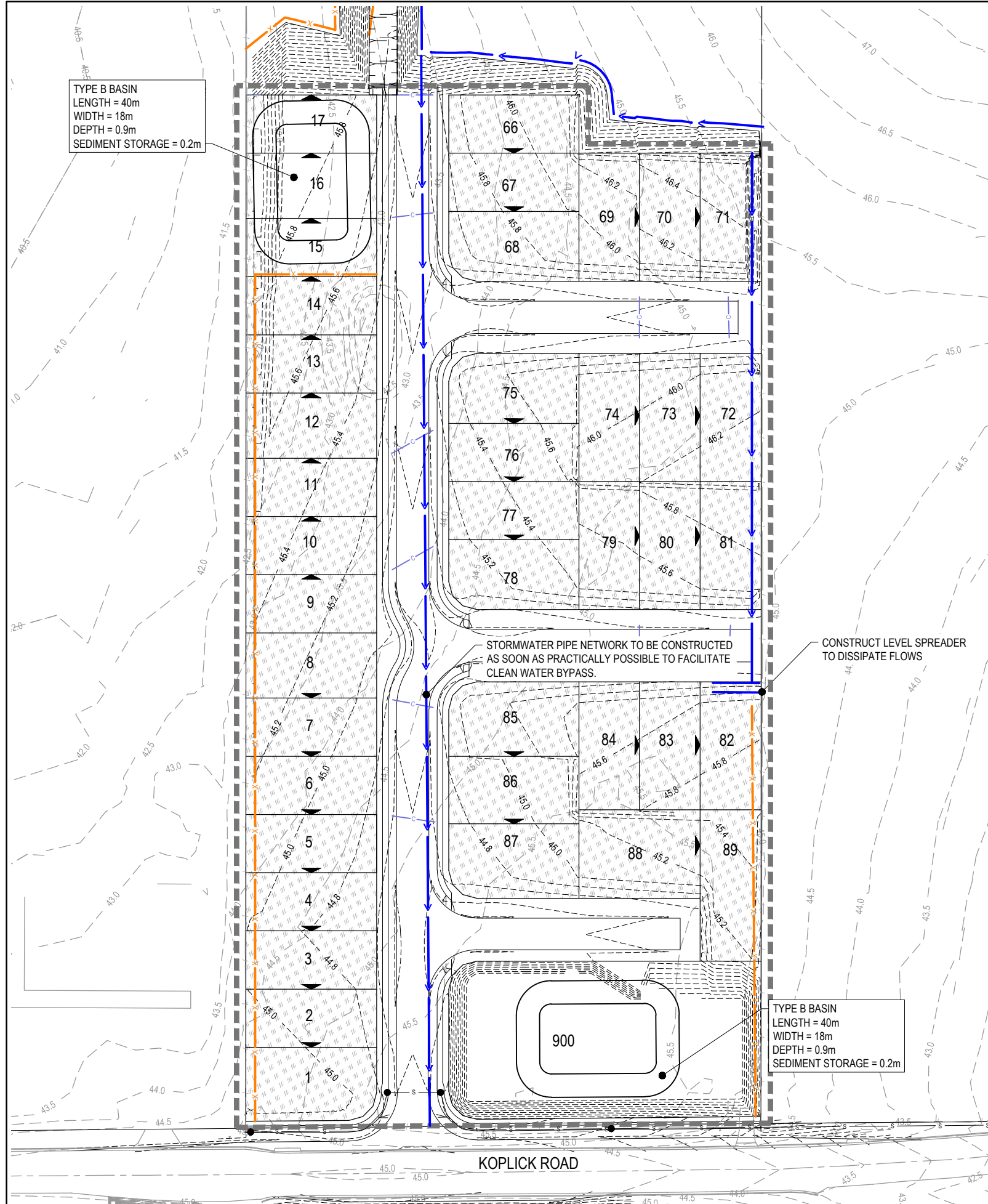
87 - 93 KOPLICK ROAD
PARK RIDGE

DRAWING TITLE		
BULK EARTHWORKS SECTIONS AND DETAILS PLAN		
PROJECT No.	DRAWING No.	REVISION
18-0114	102	3



LOGAN CITY COUNCIL
ENDORSED PLAN
 This is the endorsed plan for Development Application
 OW/52/2020

TYPE B BASIN
 LENGTH = 40m
 WIDTH = 18m
 DEPTH = 0.9m
 SEDIMENT STORAGE = 0.2m



Sediment Basin Sizing - Basin A and B	
Q1 Flow	0.114 m3/s
Design Discharge (Q)	0.06 m3/s
Sediment Settlement Coefficient (Ks) *	12000.00
Settling Zone - Average Area (As)	684.00
Settling Zone Depth (Ds)	0.68 m
Critical Settling Zone Length (Ls)	81.00 m
Adopted Settling Zone Length	40.00
Settling Zone Width (Ws)	17.10 m
Flow Velocity of Clear Water Supernatant (vc)	0.004901961
Sediment Storage Depth (Dss)	0.2 m
Total Depth	0.88 m

* To be confirmed with Jar Test prior to construction commencement

NOTE:
 BOTH BASIN LOCATIONS SHOWN TO BE UTILISED DURING DIFFERENT PHASES OF WORKS. THE NORTHERN IS INTENDED FOR EARLY PHASES OF CONSTRUCTION, UNTIL SUCH TIME EARTHWORKS LEVELS CAN FACILITATE RUNOFF TO BE DIRECTED TO THE SOUTHERN BASIN

NOTE:
 ROADS ARE TO BE TEMPORARILY STABILISED WITH AN APPROVED PRODUCT AND TO THE SATISFACTION OF THE SUPERINTENDENT

NOTE:
 THE DESIGN INFORMATION SHOWN ON THIS DRAWING IS A CONCEPTUAL GUIDE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PLANNING, DESIGN (INCLUDING CPESC CERTIFICATION), IMPLEMENTATION AND MAINTENANCE OF AN EROSION AND SEDIMENT CONTROL PLAN THAT IS COMPLIANT WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION (IECA) GUIDELINE 'BEST PRACTICE EROSION AND SEDIMENT CONTROL' AND RELEVANT COUNCIL POLICIES.

NOTE:
 TYPE B BASINS HAVE BEEN ADOPTED FOR THIS CONCEPT DESIGN, HOWEVER THE PRINCIPAL CONTRACTOR CAN ADOPT A TYPE A BASIN DESIGN IN LIEU OF THIS IF DEEMED APPROPRIATE.

LEGEND

-----24.6-----	PROPOSED CONTOUR (0.2m INTERVAL)
-----24.6-----	EXISTING CONTOUR (0.5m INTERVAL)
→	PROPOSED CLEAN WATER DRAIN
—x—x—x—	PROPOSED SEDIMENT FENCE
▨	PROPOSED AREA OF SURFACE STABILISATION
-----	INDICATIVE BASIN CATCHMENT

<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESIGN</th> <th>DRAWN</th> <th>REVISION DETAILS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>27.06.19</td> <td>RD</td> <td>RD</td> <td>ORIGINAL ISSUE</td> </tr> <tr> <td>2</td> <td>03.09.19</td> <td>RD</td> <td>RD</td> <td>EXTERNAL WORKS BUND</td> </tr> <tr> <td>3</td> <td>07.04.20</td> <td>RD</td> <td>RD</td> <td>SEDIMENT BASIN CALCULATIONS ADDED</td> </tr> </tbody> </table>	REV	DATE	DESIGN	DRAWN	REVISION DETAILS	1	27.06.19	RD	RD	ORIGINAL ISSUE	2	03.09.19	RD	RD	EXTERNAL WORKS BUND	3	07.04.20	RD	RD	SEDIMENT BASIN CALCULATIONS ADDED	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NOT FOR CONSTRUCTION</td> </tr> <tr> <td style="text-align: center;">DESIGN APPROVED TROY SCHULTZ RPEQ 20631</td> </tr> </table>	NOT FOR CONSTRUCTION	DESIGN APPROVED TROY SCHULTZ RPEQ 20631	<p>ENQUIRIES@PEAKURBAN.COM.AU</p>	<p>SCALE</p> <p>1:500 10 5 0 10 20 A1 1:1000</p>	<p>CLIENT</p> <p>KOPLICK DEVELOPMENTS PTY LTD</p> <p>ASSOCIATED CONSULTANT GOODROCK PROPERTY PH: 0423 557 882</p>	<p>PROJECT NAME</p> <p>PROPOSED RESIDENTIAL SUBDIVISION (STAGES 1 AND 2)</p> <p>87 - 93 KOPLICK ROAD PARK RIDGE</p>	<p>DRAWING TITLE</p> <p>CONCEPT EROSION AND SEDIMENT CONTROL LAYOUT PLAN</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>PROJECT No.</td> <td>DRAWING No.</td> <td>REVISION</td> </tr> <tr> <td style="text-align: center;">18-0114</td> <td style="text-align: center;">400</td> <td style="text-align: center;">3</td> </tr> </table>	PROJECT No.	DRAWING No.	REVISION	18-0114	400	3
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