

# LOT 7 'ELEVATE ESTATE' ORMEAU HILLS QLD

Full Turnkey  
Home & Land Package



## CADENCE 180 HAMPTONS

Artist Impression. For marketing purposes only. Rendered images may depict fixtures, colours, finishes or features not supplied by Karston Building Group. Please refer to the standard inclusions list for clarification. House design is subject to council requirements and covenants approval. Facade details may vary depending on covenant guides. Please refer to final plans and contract for sqm and specifications.

FIXED PRICE BUILDING CONTRACT FOR PEACE OF MIND  
FULL TURN KEY INCLUSIONS INCLUDING FENCING & LANDSCAPING

2740MM CEILING HEIGHT TO ENTIRE HOME

DUCTED AIR CONDITIONING

RENDERED BLOCKWORK TO SIDE AND REAR ELEVATIONS

STONE BENCHTOPS TO KITCHEN, BATHROOMS AND LAUNDRY

2 PAC CABINETS WITH FINGERPULLS THROUGHOUT

WALL HUNG VANITIES WITH ABOVE COUNTER BASINS

900MM STAINLESS STEEL UPRIGHT COOKER

UNDERMOUNT SINK + GOOSENECK TAPWEAR TO KITCHEN & LAUNDRY

600 X 600 RECTIFIED PORCELAIN FLOOR TILING

DIAMOND BARRIER SCREENS TO WINDOWS & SLIDING DOORS





QUALITY CARPETS, MIRRORED ROBES & ROLLER BLINDS THROUGHOUT

EXPOSED AGGREGATE DRIVEWAY AND ALFRESCO

# \$860,900

HOUSE SIZE 180M<sup>2</sup>  
LAND SIZE 375M<sup>2</sup>

LAND PRICE \$505,000  
HOUSE PRICE \$355,900  
TOTAL PRICE \$860,900  
INITIAL DEPOSIT \$1000  
EST. REGISTRATION REGISTERED

     
4 2 1 2



# CADENCE 180 HAMPTONS

Whilst all details have been carefully prepared and are believed to be correct at time of publication, no warranty can be given either expressly or implied from this property brochure. Intending purchasers should review all documentation provided prior to signing any contracts. Illustrations, images and floor plans in this brochure are strictly for presentation purposes only.





# CADENCE 180 LH - HAMPTON

ARTIST IMPRESSION ONLY

Perspectives			Use figured dimensions at all times. Refer enquiries to <b>KARSTON BUILDING GROUP</b> . All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. All drawings copyright to <b>KARSTON BUILDING GROUP</b> .	HOUSE TYPE: <b>CADENCE 180 LH - HAMPTON</b>	DRAWN: <b>RPW</b>	<b>A3</b>	<b>KARSTON BUILDING GROUP</b> QBSA LIC. 15199098 ABN: 74 640 557 008 PHONE: (07) 5502 6252 EMAIL: admin@karstonthomes.com.au
				CLIENT:	PAGE #: <b>000</b>   ISSUE: <b>A</b>		
				SITE DETAILS:	DATE:		
					JOB No:		
					SCALE:		
	<b>A</b>						
	<b>ISS</b>	<b>DATE</b>	<b>DESCRIPTION</b>				

**Site Notes**

- 1.) Contours and levels shown are produced from disclosure plans and are not guaranteed to be correct
- 2.) Topography shown is based on an assumed datum Point.
- 3.) All survey pegs are to be located prior to earthworks.
- 4.) Surface water to be drained away from dwelling (provide a 1:20 minimum fall).
- 5.) Maximum batters shall be provided as follows:  
(i) CUT-1:1 (ii) FILL-1:2 (iii) VEHICULAR ACCESS-1:4
- 6.) The working PAD RL noted on the site plan shall have a tolerance of up to 100mm
- 7.) The Builder takes no responsibility for retaining or drainage requirements caused by conditions on adjoining properties. Such works are to be carried out by the owner.
- 8.) Footpath in driveway may or may not be removed subject to site conditions.
- 9.) Site Pad level to be determined/confirmed by the Engineer. Refer to the engineering plans/report for further details.
- 10.) All retaining walls will be decided on site by the relevant site supervisor.

**VARIATION SCHEDULE**

1.

**SITE COVERAGE = 51%**

LOT AREA = 0m<sup>2</sup>

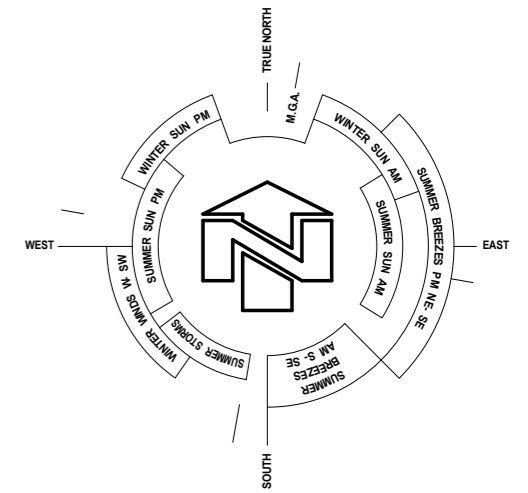
HOUSE FOOTPRINT = 181m<sup>2</sup>

GL = TBC

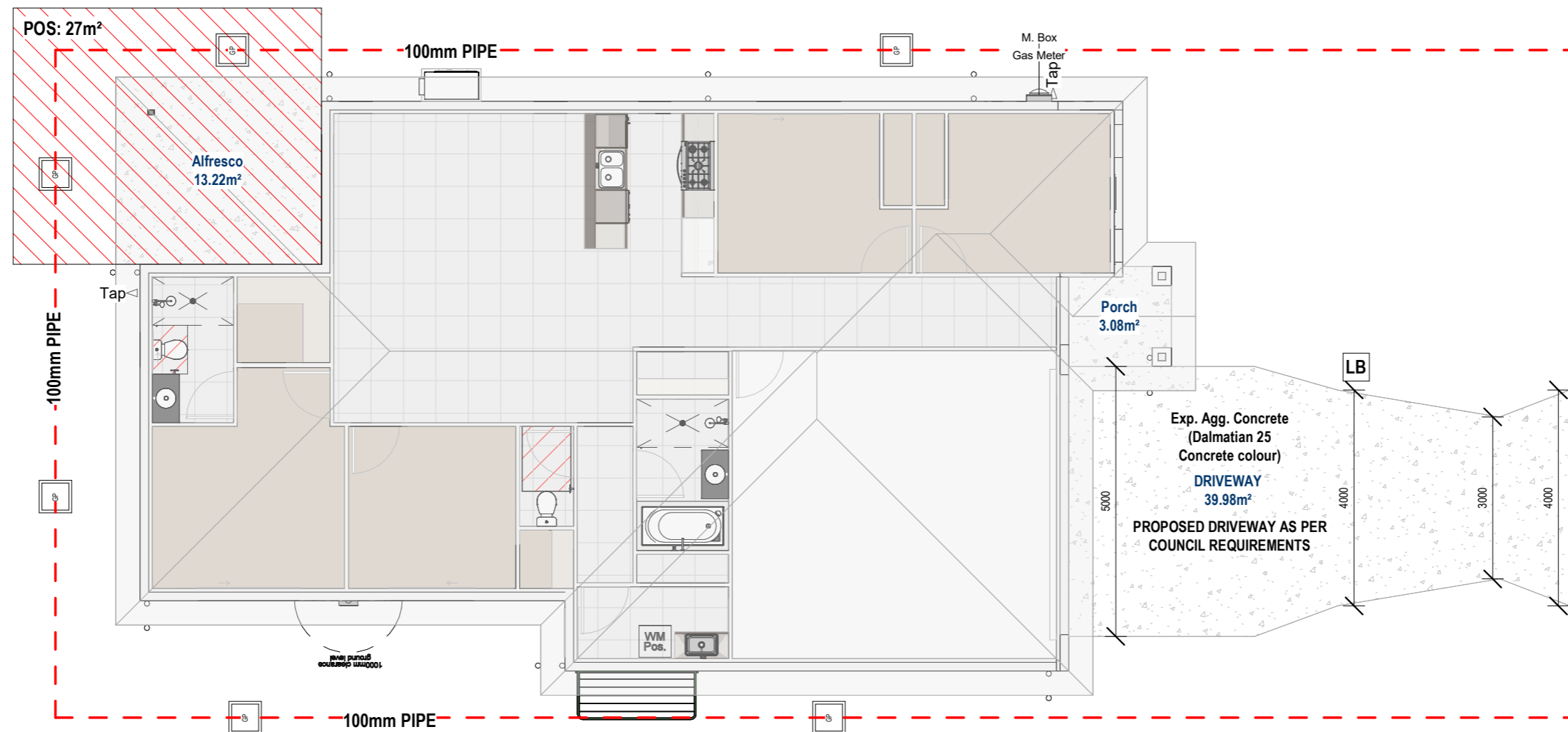
CUT = SITE SCRAPE

FILL = SITE SCRAPE

FL = REFER TO ENGINEERS



**STORMWATER LINE TO ACHIEVE A MINIMUM OF 1:100 FALL**



**STORMWATER LINE TO ACHIEVE A MINIMUM OF 1:100 FALL**

Site Plan

ISS	DATE	DESCRIPTION
A		

Use figured dimensions at all times. Refer enquiries to **KARSTON BUILDING GROUP**. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. All drawings copyright to **KARSTON BUILDING GROUP**.

HOUSE TYPE: **CADENCE 180 LH - HAMPTON**

CLIENT:

SITE DETAILS:

DRAWN: **RPW**

PAGE #: **100** ISSUE: **A**

DATE:

JOB No:

SCALE: **1 : 100**

**A3**

**KARSTON BUILDING GROUP**

QBSA LIC. 15199098

ABN: 74 640 557 008

PHONE: (07) 5502 6252

EMAIL: admin@karstonthomes.com.au



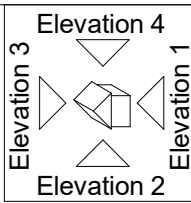
COPYRIGHT ©

Area Schedule	
Name	Area
Alfresco	13.22 m <sup>2</sup>
Garage	36.94 m <sup>2</sup>
Lower Living	127.39 m <sup>2</sup>
Porch	3.33 m <sup>2</sup>
Grand total:	4 180.88 m <sup>2</sup>

**Livable Housing Design:**  
Plans to comply with Livable Housing Design Standard 2022. Refer to sheet 820 onwards for further details.

**1:80 fall minimum fall to shower drains**

**2740mm CEILING HEIGHT**



**GENERAL NOTES:**

Figure dimensions take precedence to scaled dimensions. Internal dimensions between framing, etc. do not include the allowance for lining thicknesses.  
Angled walls shall be 45° unless noted otherwise.

Separate W/C rooms to have Lift off Hinges

All Bathrooms, W/Cs, Ensuets and Laundries, without Natural Ventilation (windows) to have Mechanical Exhaust Fans.

Bulkheads:  
2260mm from slab to underside (unless noted otherwise).

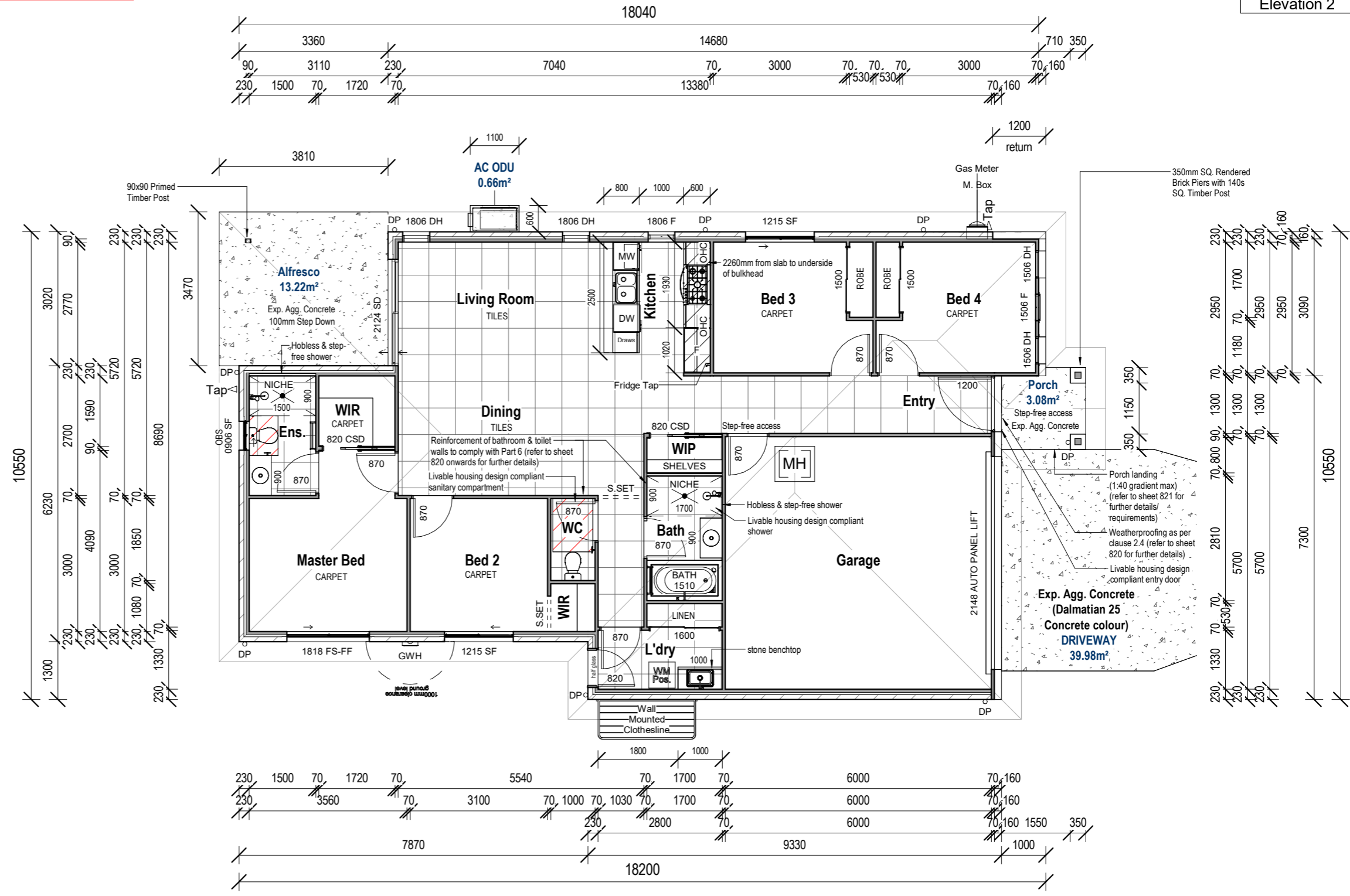
**Energy Efficiency Requirements:**  
Dwelling to achieve compliant 7 star energy efficiency rating as per NCC 2022.

There are allowances for 6 & 6.5 star ratings with a compliant outdoor living area (Alfresco) as per the NCC 2022 section S42C2 (In climate zones 1 & 2).

**6.5 Stars**  
-Meets outdoor living area requirements  
-Must be fully covered with a roof having a Total R-Value greater than or equal to 1.5

**6 Stars**  
-Meets outdoor living area requirements  
-Must be fully covered with a roof having a Total R-Value greater than or equal to 1.5  
-Has a ceiling fan installed (1200mm)

**Outdoor living area requirements:**  
-Directly adjoining a living area  
-Has a floor area greater than or equal to 12.0m<sup>2</sup>  
-Has length & width dimensions greater than or equal to 2.5m each  
-Has an opening height above floor level greater than or equal to 2.1m  
-Has one side permanently open with a second side permanently open or readily openable



**NOTE :**  
Kitchen Cabinetry :  
Check Colour Specifications

**NOTE :**  
Laundry & Bathroom Cabinetry :  
Check Colour Specifications

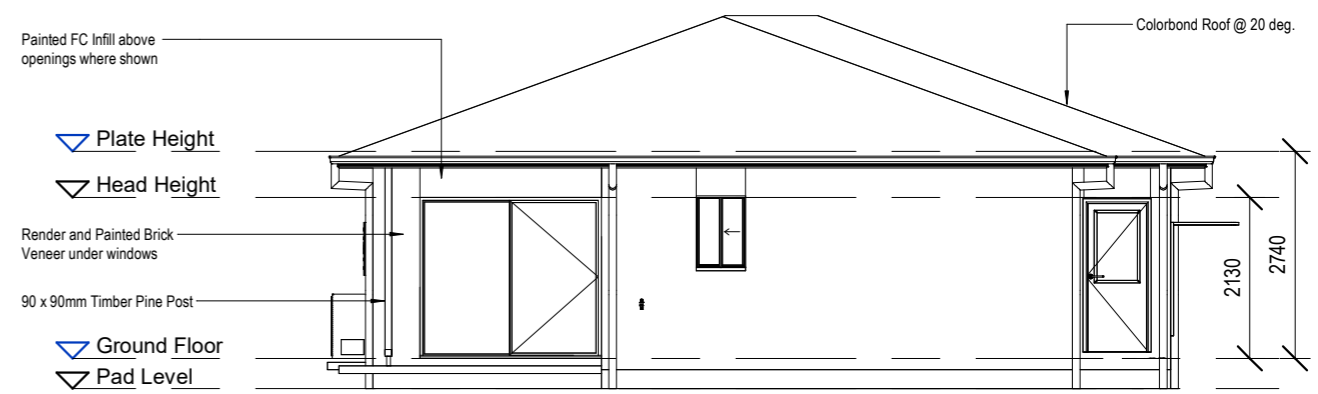
Ground Floor Plan	ISS	DATE	DESCRIPTION	Use figured dimensions at all times. Refer enquiries to <b>KARSTON BUILDING GROUP</b> . All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. All drawings copyright to <b>KARSTON BUILDING GROUP</b> .	HOUSE TYPE: <b>CADENCE 180 LH - HAMPTON</b>	DRAWN: <b>RPW</b>	A3	<b>KARSTON BUILDING GROUP</b> QBSA LIC. 15199098 ABN: 74 640 557 008 PHONE: (07) 5502 6252 EMAIL: admin@karstonthomes.com.au
					CLIENT:	PAGE #: <b>200</b> ISSUE: <b>A</b>		
					SITE DETAILS:	DATE:		
						JOB No:		
						SCALE: <b>1 : 100</b>		

COPYRIGHT ©

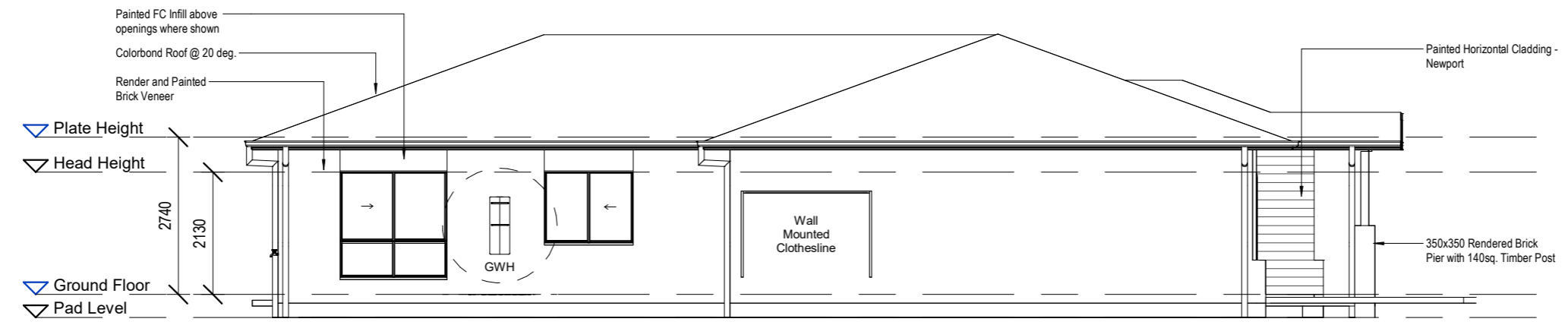
**2740mm CEILING HEIGHT** **EAVES 450 UNO**



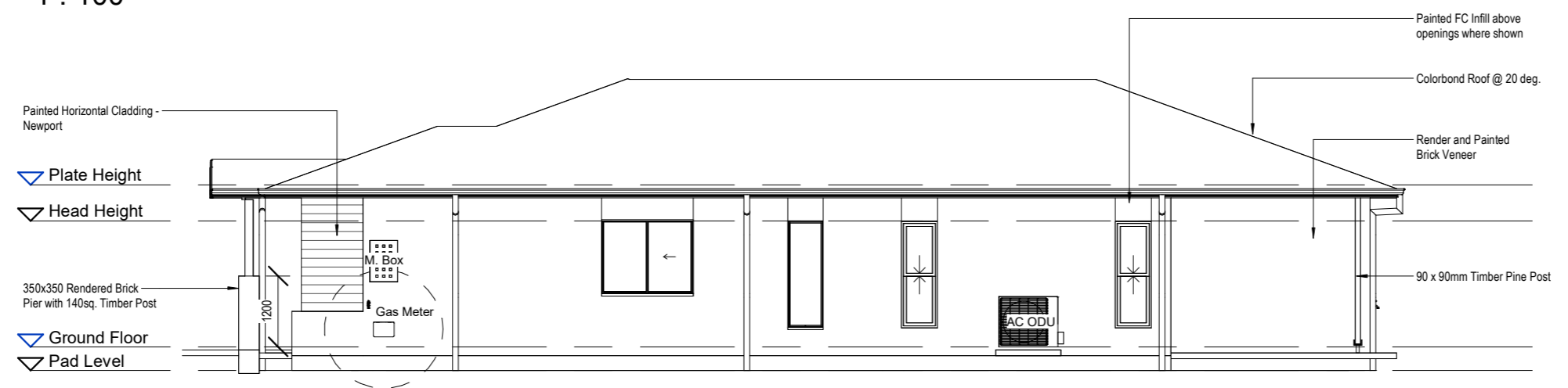
**Elevation 1**  
1 : 100




**Elevation 3**  
1 : 100



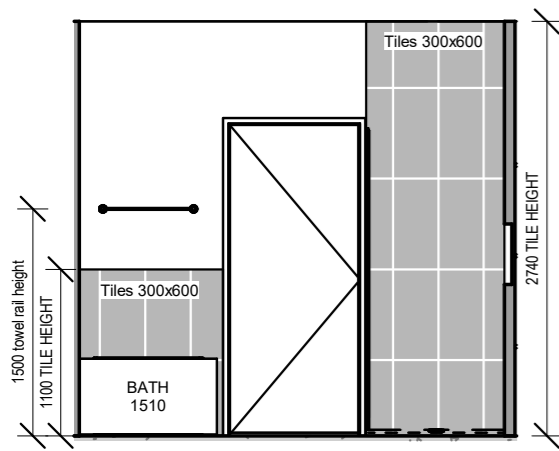
**Elevation 2**  
1 : 100



**Elevation 4**  
1 : 100

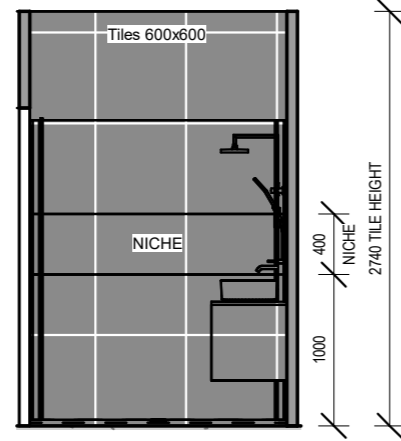
<b>Elevations</b>			Use figured dimensions at all times. Refer enquiries to <b>KARSTON BUILDING GROUP</b> . All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. All drawings copyright to <b>KARSTON BUILDING GROUP</b> .	HOUSE TYPE: <b>CADENCE 180 LH - HAMPTON</b>	DRAWN: <b>RPW</b>	<b>A3</b>	<b>KARSTON BUILDING GROUP</b> QBSA LIC. 15199098 ABN: 74 640 557 008 PHONE: (07) 5502 6252 EMAIL: admin@karstonhomes.com.au	
				CLIENT:	PAGE #: <b>400</b> ISSUE: <b>A</b>			
				SITE DETAILS:	DATE:			
					JOB No:	SCALE: <b>1 : 100</b>		
	<b>A</b>	<b>ISS</b>	<b>DATE</b>	<b>DESCRIPTION</b>				

COPYRIGHT ©



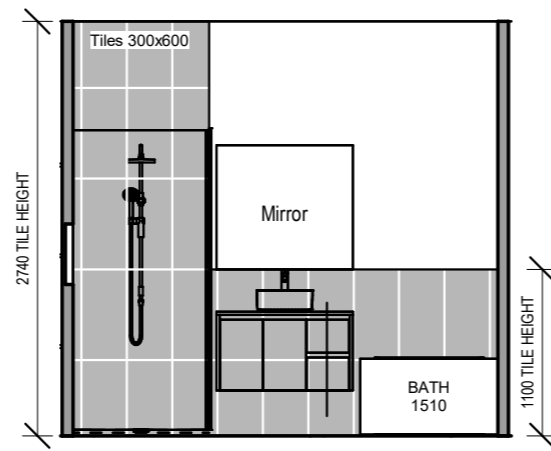
**Bath 01**

1 : 50



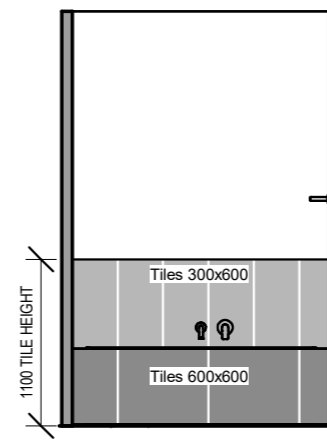
**Bath 02**

1 : 50



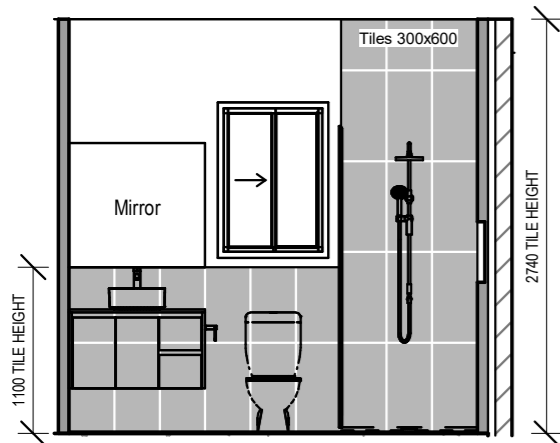
**Bath 03**

1 : 50



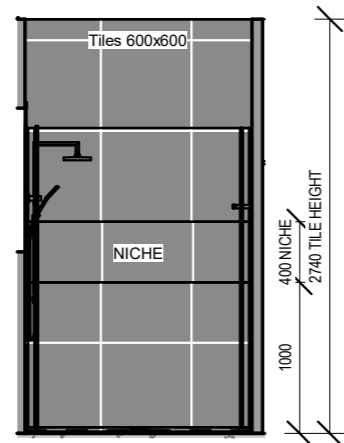
**Bath 04**

1 : 50



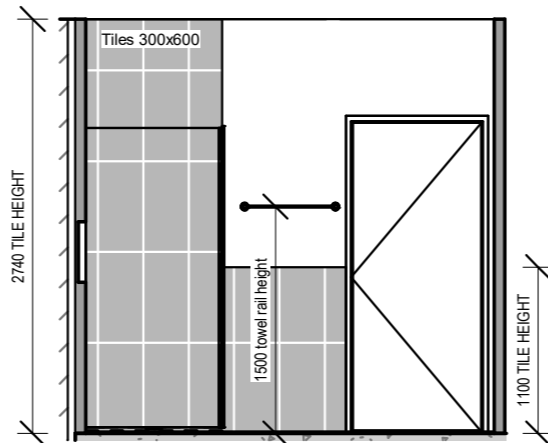
**Ens. 01**

1 : 50



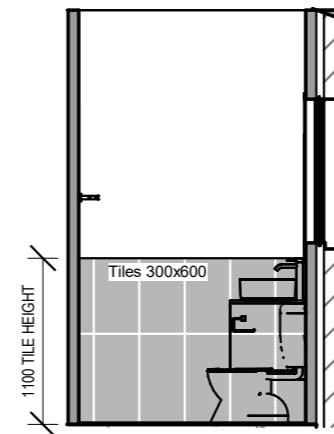
**Ens. 02**

1 : 50



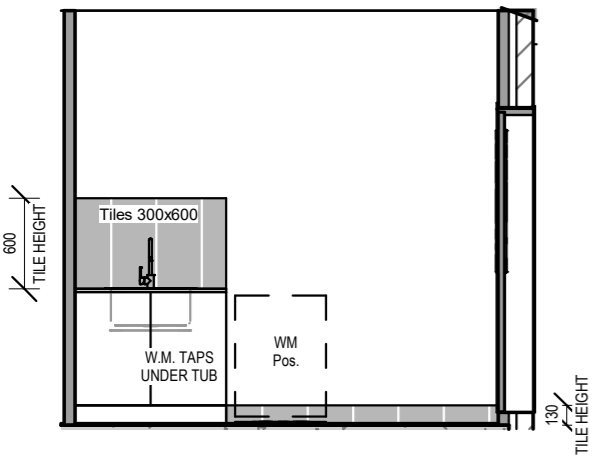
**Ens. 03**

1 : 50



**Ens. 04**

1 : 50



**Laundry 04**

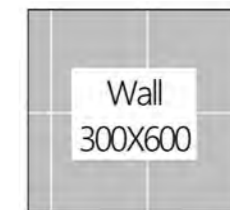
1 : 50

**NOTE:**  
Reinforcement of bathroom & toilet walls to comply with Part 6 (refer to sheet 820 onwards for further details)

**FIXING HEIGHTS**

ITEM	HEIGHT
WC WATERSTOP VALVE	150mm
TOILET ROLL HOLDER	700mm
TOWEL RAILS	1500mm
SHOWER ROSE	1800mm
SHOWER MIXER	1000mm
SHOWER SCREEN	2000mm
SHOWER TILING	2740mm
HOSE COCK TO FRIDGE RECESS	1900mm
POWER POINTS TO FRIDGE RECESS	1900mm
POWER POINTS TO WET AREAS	1050mm
POWER POINTS TO SPLASHBACK	1050mm
POWER POINTS TO DISHWASHER	700mm

Always refer to cabinet maker details for final measurements



**NOTE :**  
Laundry & Bathroom Cabinetry :  
Check Colour Specifications

Internal Elevations

ISS	DATE	DESCRIPTION
A		

Use figured dimensions at all times. Refer enquiries to **KARSTON BUILDING GROUP**.  
All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.  
All drawings copyright to **KARSTON BUILDING GROUP**.

HOUSE TYPE: **CADENCE 180 LH - HAMPTON**

CLIENT:

SITE DETAILS:

DRAWN: **RPW**

PAGE #: **600** ISSUE: **A**

DATE:

JOB No:

SCALE: **1 : 50**

**A3**

**KARSTON BUILDING GROUP**  
QBSA LIC. 15199098  
ABN: 74 640 557 008  
PHONE: (07) 5502 6252  
EMAIL: admin@karstonhomes.com.au



COPYRIGHT ©

ELECTRICAL LEGEND	
	DOWNLIGHT
	DOUBLE FLUORESCENT
	DOWNLIGHT w/ BUILT-IN SENSOR
	CIRCULAR FLURO
	OYSTER LIGHT
	PENDANT LIGHT
	EXTERNAL BUNKER WALL LIGHT
	SEPERATE SENSOR
	EXTERNAL 2 BULB & SENSOR SPOT LIGHT
	TASTIC - 3 IN 1
	FEATURE LIGHT
	SMOKE ALARM
	CEILING FAN
	EXHAUST FAN
	EXHAUST FAN WITH LIGHT
	POWER OUTLETS
	DOUBLE POWER OUTLET w/ USB
	EXTERNAL POWER OUTLETS
	TELEVISION OUTLET
	TELEPHONE OUTLET
	DATA POINT
	NBN HOME DISTRIBUTOR
	METER BOX
	GAS METER
	REVERSE CYCLE AIR CONDITIONER

Electrical Fixtures		
Description	Count	
Air Con. Outdoor Unit	1	
Ceiling Fan	7	
Data Point	2	
Double Power Outlet	14	
Downlight	30	
Exhaust Fan with light	2	
External Wall Light	1	
Isolator	1	
Meter Box	1	
NBN Home Distributor	1	
Single Power Outlet	5	
Smoke Alarm	6	
Tastic - 3 in 1	2	
Telephone Outlet	1	
TV Outlet	2	
Weatherproof Double Power Outlet	1	
Weatherproof Single Power Outlet	1	

**LEGEND**  
**MB** - Meterbox  
**DW** - Dishwasher  
**MW** - Microwave  
**REF** - Refrigerator  
**HWS** - Hot water system  
**RH** - Rangehood  
**UB** - Under Bench  
**Ph.Pt.** - Phone Point

**NOTE:**  
 Split system air conditioning units -  
 1x living, 1x master bedroom

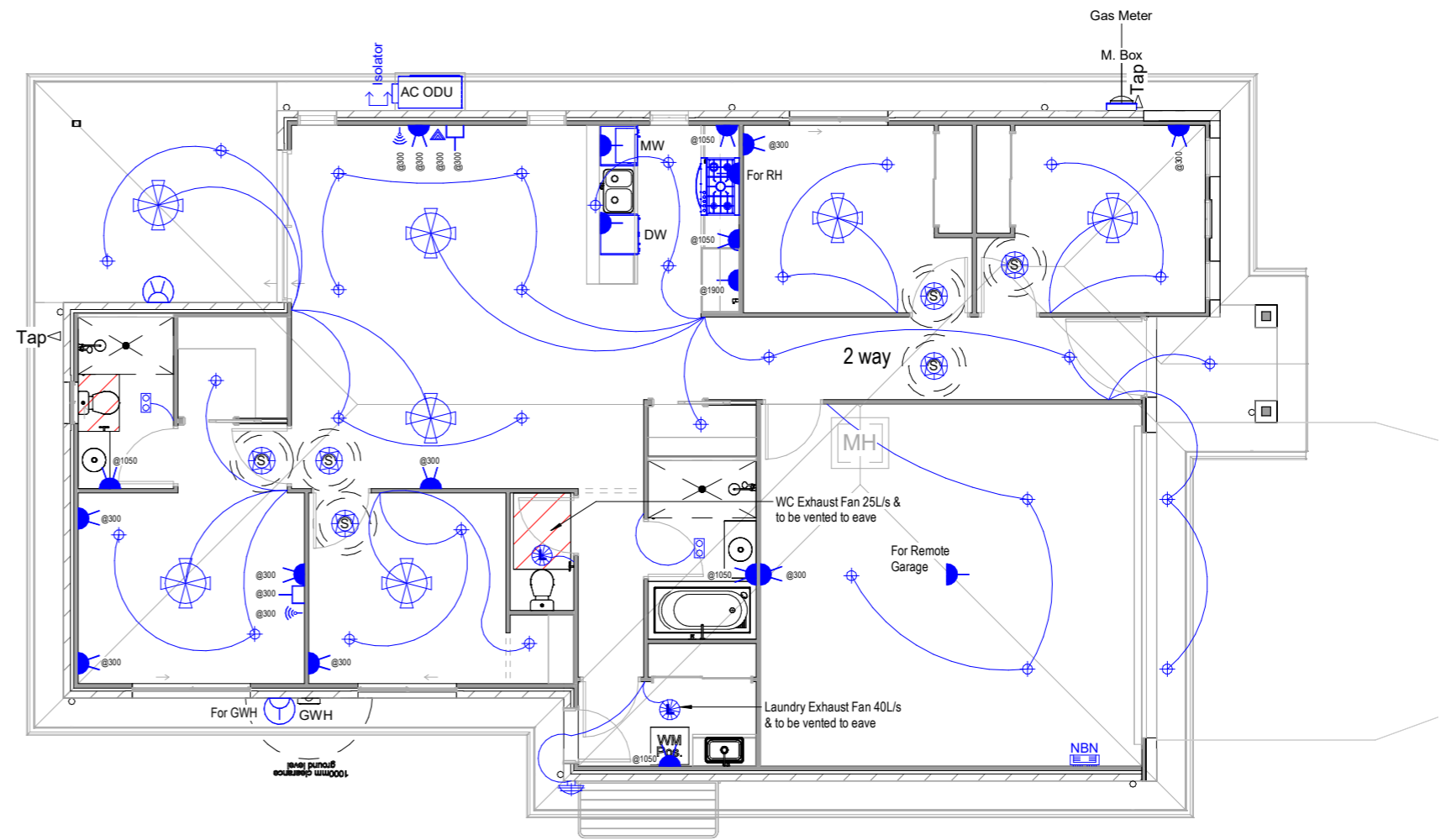


**NOTE:**

- PHONE LEAD IN MUST BE NBN COMPLIANT
- SMOKE ALARMS TO BE INTERCONNECTED & IN ACCORDANCE WITH NCC CLAUSE 3.7.2.2 & COMPLY WITH AS 3786
- ALL WET AREA GPO'S ARE TO HAVE MINIMUM CLEARANCE FROM BASINS AS PER AS3000

**NOTE:**

- LOCATION OF WET AREA POWERPOINTS SUBJECT TO MOVE TO COMPLY WITH ELECTRICAL REQUIREMENTS



<h1>Electrical Plan</h1>			Use figured dimensions at all times. Refer enquiries to <b>KARSTON BUILDING GROUP</b> . All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. All drawings copyright to <b>KARSTON BUILDING GROUP</b> .	HOUSE TYPE: <b>CADENCE 180 LH - HAMPTON</b>	DRAWN: <b>RPW</b>	<b>A3</b>	<b>KARSTON BUILDING GROUP</b> QBSA LIC. 15199098 ABN: 74 640 557 008 PHONE: (07) 5502 6252 EMAIL: admin@karstonthomes.com.au
				CLIENT:	PAGE #: <b>700</b> ISSUE: <b>A</b>		
				SITE DETAILS:	DATE:		
					JOB No:	SCALE: <b>1 : 100</b>	



## DISCLOSURE PLAN PROPOSED LOT 7

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 1000 on SP310686  
Locality of Ormeau Hills

1. These notes form an integral part of this plan. No part of this plan may be reproduced without these notes being included.
2. All dimensions and areas shown are subject to final survey and relevant local authority approval.
3. This plan has been prepared for issue to a buyer as a disclosure plan under the Land Sales Act 1984. It is not to be used for any other purpose.
4. Levels and contours shown on this plan are not to be used for building design or construction; a topographical survey of the site is required.
5. Any engineering detail (retaining walls, etc.) shown on this plan is indicative only and subject to construction and relevant local authority approval.
6. For further detail regarding services, facilities and features which may have relevance to the proposed lot, reference should be made to the Development Application approval conditions, the approved operational works drawings and current engineering drawings.

Contour Interval – 0.5 metre

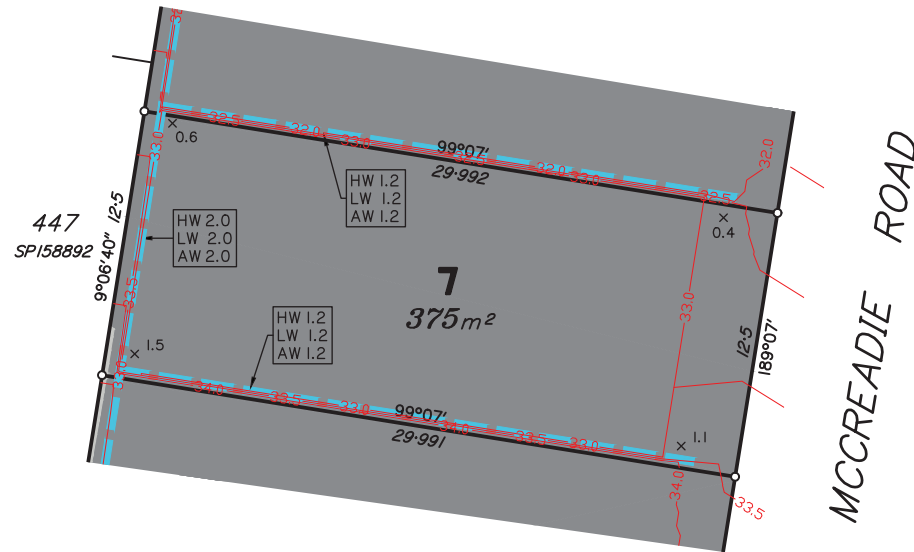
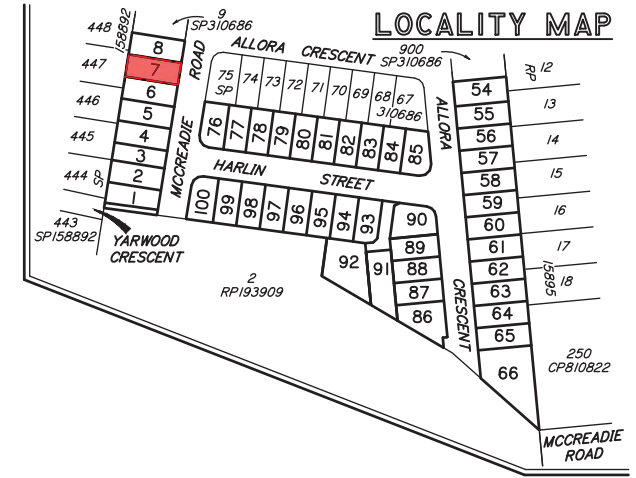
- Design Contours
  - Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- |        |  |
|--------|--|
| HW 1.0 | Height of Highest Point of Wall (Metres) |
| LW 0.2 | Height of Lowest Point of Wall (Metres)  |
| AW 0.6 | Average Height of Wall (Metres)          |

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level 1 inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

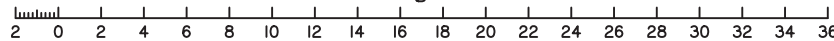
- x 0.1 Cut/Fill, calculated between design and existing surface contours
- Area to be Cut, as supplied by Mortons Urban Solutions on 18/09/19
- Area to be Filled, as supplied by Mortons Urban Solutions on 18/09/19

Lot levels and earthworks derived from Engineering Drawings.

Meridian: MGA Zone 56  Yes  No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



**dts** urban planning, surveying & development

Brisbane Mackay

PO Box 3128, West End QLD 4101 PO Box 11711, Mackay Canelands QLD 4740

Ph: 07 3118 0600 Ph: 1300 278 783

brisbane@dtsqld.com.au mackay@dtsqld.com.au

B					
A	RETAINING WALL MODIFIED ORIGINAL ISSUE	08/07/20	AA	AV	AV
Issue	Details	Date	Drawn	Checked	Checked

**DISCLOSURE PLAN**  
ORMEAU DEVELOPMENTS PTY LTD  
STAGE 2  
DALMA STREET, ORMEAU HILLS

Dwg No: A3-5872/7	Issue: B
Project: BNE180307	
File: B180307Dis2.dwg	



# Masterplan

100 lots | Lot sizes range from 302m<sup>2</sup> to 952m<sup>2</sup> | Lot frontages range from 12m to 15m+.

All lots are benched, levelled and retained to maximise your living space and minimise your cost to build. From easy to maintain courtyard lots to more traditional sized homesites with room to play, the choice is yours to suit your lifestyle.

\*This plan is indicative only and every effort has been made to ensure accuracy. Registered survey plans or disclosure plans should be consulted and purchasers should carefully review information within the contract of sale prior to purchase.



Elevate  
AT ORMEAU HILLS



# Elevate Your Lifestyle

Elevate at Ormeau Hills is an exciting, new community located in an elevated position in the thriving northern Gold Coast corridor.

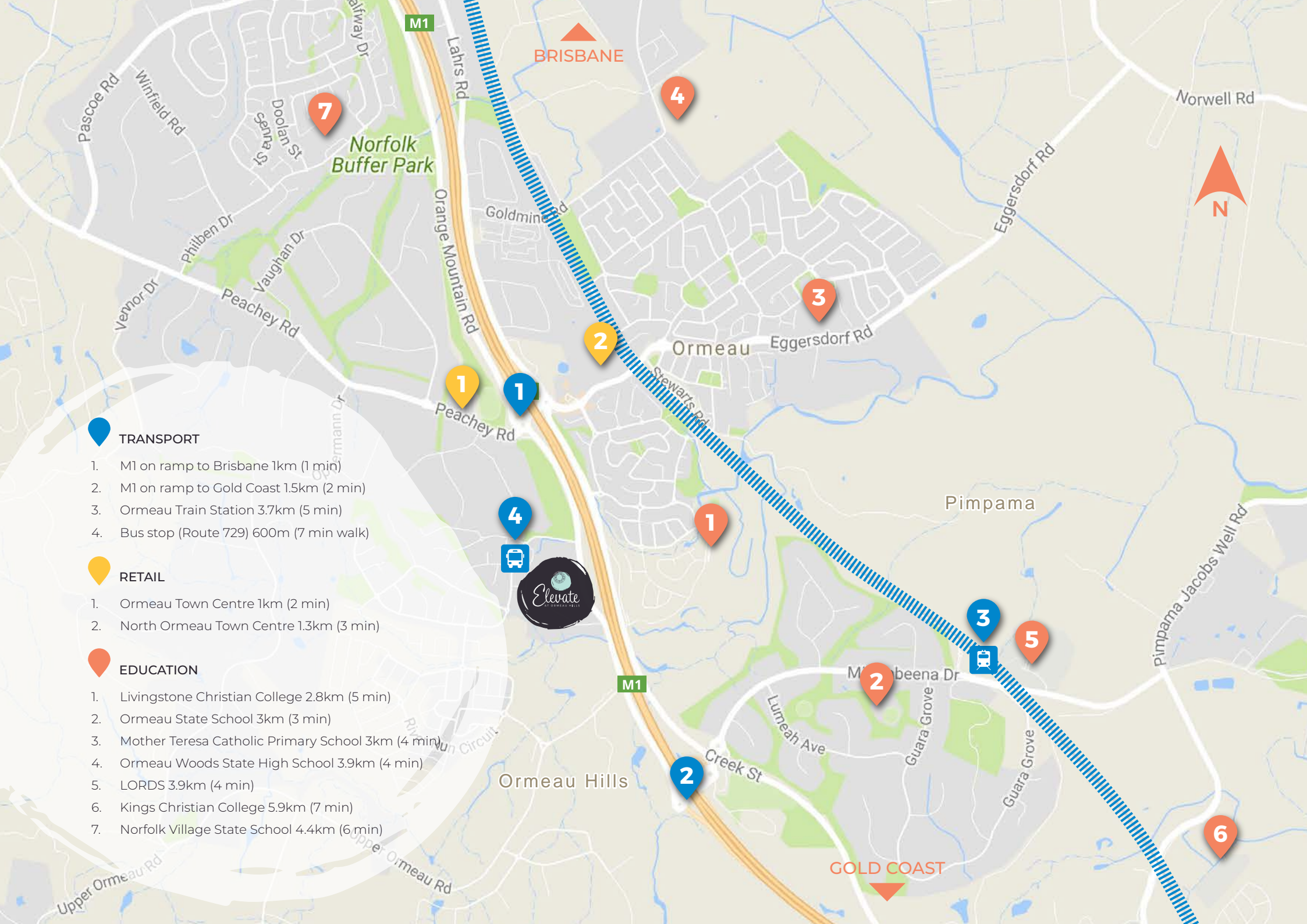
Only minutes to local cafés, shops and schools, you can join a growing coastal lifestyle with so much more on offer.

Just 25km north of the Gold Coast CBD and 40km south of the Brisbane CBD, Elevate at Ormeau Hills is a high-quality, boutique lifestyle community. Homesites range in size from a low maintenance easy living 303m<sup>2</sup> courtyard lot to traditional family-sized lots up to 952m<sup>2</sup>.

In such a high demand location on the Gold Coast, be quick to secure your place in this exciting, new community.



*Only minutes to local cafés, shops and schools, you can join a growing coastal lifestyle with so much more on offer.*



**TRANSPORT**

- 1. M1 on ramp to Brisbane 1km (1 min)
- 2. M1 on ramp to Gold Coast 1.5km (2 min)
- 3. Ormeau Train Station 3.7km (5 min)
- 4. Bus stop (Route 729) 600m (7 min walk)

**RETAIL**

- 1. Ormeau Town Centre 1km (2 min)
- 2. North Ormeau Town Centre 1.3km (3 min)

**EDUCATION**

- 1. Livingstone Christian College 2.8km (5 min)
- 2. Ormeau State School 3km (3 min)
- 3. Mother Teresa Catholic Primary School 3km (4 min)
- 4. Ormeau Woods State High School 3.9km (4 min)
- 5. LORDS 3.9km (4 min)
- 6. Kings Christian College 5.9km (7 min)
- 7. Norfolk Village State School 4.4km (6 min)



# Work, Play, Relax

When planning to build your new home your location is so important. Elevate has all the established amenities you could need right now with so much more to come.

Positioned in a scenic and vibrant location in the thriving Gold Coast corridor the options to work, play or just relax are endless.

## RETAIL

Only 1km from this new community is the existing Ormeau Town Centre, including Woolworths, IGA, Service Centre, health care and a range of specialty stores.

Just over 1km away is the future North Ormeau Town Centre, which is already under construction with Coles confirmed as the major tenant.

Within a short 10 minute drive is the new Westfield Coomera Shopping Centre, which has 140 specialty stores including Kmart, Target and Event Cinemas.



## SPORTS & RECREATION

With easy access to some of south east Queensland's best theme parks, beaches and the Gold Coast hinterland on your doorstep, your fun weekend adventures of hiking, exploring and surfing await you.

Local sporting clubs offering Australian Rules, soccer, netball and tennis are all within minutes as are local parks and playing fields for a casual day out with the family and friends.

## EDUCATION

There are a wide range of public and private schools to choose from in nearby Ormeau, Pimpama and Coomera, servicing prep to year 12. Various tertiary education options are easily accessible via the conveniently located major transport infrastructure, including the M1, Ormeau Train Station and Gold Coast bus routes.

The high level of established parks and green spaces as well as employment nodes in the immediate location means this is an ideal setting for families and couples to invest in their future.



# Fast Facts



Easy access to Gold Coast beaches and the Brisbane CBD via the M1.

An abundance of local amenities with further shopping, retail and dining options coming soon.



Public, private, primary and secondary schools, along with childcare facilities – all here on your doorstep.

Convenient access to surrounding employment and commercial hubs in Ormeau and the Yatala region.



Effortless connection to public transport and major road networks.

Prime location in a high growth corridor of South East Queensland.









GOLD COAST CBD

PACIFIC MWY (M7)



Careful planning has gone into the design of all homesites to ensure frontages, depths and setbacks will facilitate a range of designs for you and your family to choose from.

# Quality Family & Builder Friendly Homesites

Set in a key urban growth corridor of South East Queensland, Elevate is a brand new boutique community elevated high in Ormeau Hills.

With a range of homesites on offer and the flexibility of selecting your own builder, there are a range of home and land options just right for you.

Homesites are available in a range of sizes to suit all lifestyles. They will be benched and retained where necessary, in order to save you thousands on potential site costs while maximising the liveable space and views.

Careful planning has gone into the design of all homesites to ensure frontages, depths and setbacks will facilitate a range of designs for you and your family to choose from. Choose your own builder, select your own design or select from an array of home and land packages we have on offer from some of Queensland's best builders.

Elevate aims to create a pleasant living environment with quality homes to ensure your investment in your family's future is a sound one. Our Elevate Design Guidelines encourage quality homes whilst allowing a variety of styles and designs that will be harmonious, whilst not being onerous by stifling creativity. You are free to express your own design style to let your dream become a reality at Elevate.

# About the Developer



CFMG Capital proudly brings quality residential communities to life.

We bring aspirational addresses to emerging suburbs and communities across Australia. Our ability to develop with focus, agility and experience means our residents benefit from well considered and carefully constructed communities.

Key to CFMG Capital's success is the ability to identify residential trends and potential for growth. We deliver quality residential communities in growth corridors with close proximity to lifestyle amenities, employment hubs and educational facilities.

By adhering to this criteria, CFMG Capital are able to ensure their communities are not just a wonderful place to live but a great place to invest in your future.

[cfmgcapital.com.au](http://cfmgcapital.com.au)







KARSTON  
BUILDING GROUP

# KARSTON BUILDING GROUP

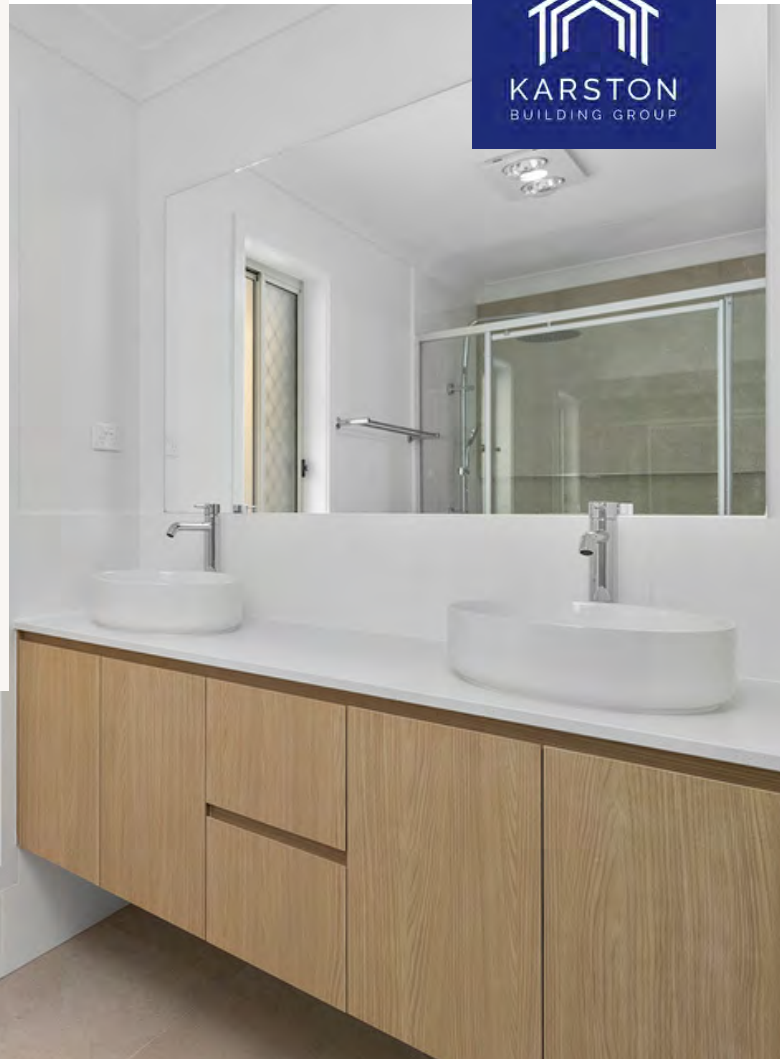
*Quality Standard Inclusions*



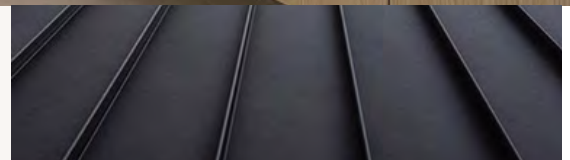
When building you want to be **confident** that everything you need is included in your new home.

At Karston, we believe that our standard inclusions are the best, redefining the **benchmark of living**. Every one of our homes are **full turn key** with landscaping, driveway, fencing, **Smartstone®** benchtops to the kitchen, LED downlights, ducted air conditioning and a **COLORBOND®** steel roof as standard.

We believe in absolute **transparency** to give you total **peace of mind** that you're getting the best value possible.



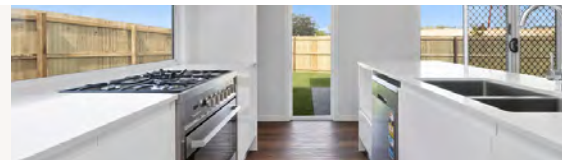
2740MM CEILING HEIGHT\*



DUCTED AIR CONDITIONING



SMARTSTONE® BENCHTOPS



600 X 600MM TILES OR  
TIMBER LOOK FLOORING



LANDSCAPING, DRIVEWAY  
AND FENCING



PLUS MUCH MORE! \*REFER TO DETAILED SCHEDULE

# KITCHEN INCLUSIONS



## FIXTURES AND FINISHES

- 2 Pac gloss, matt, or timber look cabinetry with soft close hinges and finger pull doors and drawers (no handles) with bulkhead, overhead cupboards and microwave recess
- 20mm Smartstone® benchtops with breakfast bar
- 900mm upright stainless steel gas cooktop and oven in one
- Undermount rangehood built in to overhead cabinetry
- Window or tiled splashback
- Stainless steel dishwasher
- Single fridge water connection

## SINKS & TAPWARE

- Flickmixer gooseneck tapware – chrome/satin plated
- Stainless steel 1 ½ bowl undermount sink





# KITCHEN INCLUSIONS



**KITCHEN SINK MIXER**  
AC HUSS GOOSENECK SINK  
MIXER CHROME



**COOKTOP & OVEN**  
TECHNIKA 900MM UPRIGHT  
STAINLESS STEEL GAS  
COOKTOP AND OVEN IN ONE

**DISHWASHER**  
BELISSIMO BY TECHNIKA  
600MM DISHWASHER



**KITCHEN SINK**  
EURO HELSINKI  
1.75 UNDER COUNTER SINK



**UNDERMOUNT RANGEHOOD**  
TECHNIKA 900MM CONCEALED  
UNDERMOUNT RANGEHOOD

# LIVING INCLUSIONS



## FLOORING

- Selection of 600 x 600 porcelain tiling to entry, kitchen, pantry, living zones and wet areas OR vinyl plank timber flooring to entry, kitchen, pantry and living zones
- Quality carpet to all bedrooms and/or living as per plans and builders range selected colour scheme

## ELECTRICAL

- Lighting – White fitted LED lights as per electrical plan
- External lighting – porch, alfresco and front of garage
- Double power points to all internal living areas as shown on plan
- Single power points to garage and kitchen
- Ducted air conditioning
- Air-con isolator on external wall

- 1 telephone point
- TV Antenna (if not in a Smartwire – OptiComm or Telstra Velocity area)
- RCD Safety switch
- 2 TV Points
- 2 Data Points
- White ceiling fans to all bedrooms, living and alfresco as shown on plans
- Instantaneous gas hot water system
- External power point to service gas hot water system
- Exhaust fan to toilets where shown on plans
- Smoke alarms to all bedrooms and applicable internal areas to conform with legislation at time of Building Approval

# LIVING INCLUSIONS



## CEILINGS AND FIXTURES

- 2740mm ceilings
- Architrave 66mm x 11mm and Skirting 66mm x 11mm
- 90mm cornice
- Ceilings and walls 10mm plasterboard
- Wet area walls 6mm villa board or 10mm waterproof plaster board

## PAINT

- Internal 3 coat paint system (1 coat of sealer and 2 coats of colour)
- Custom colour scheme if requested
- White colour finish to all ceilings and cornice
- White internal walls premium sealer and professional low sheen
- Doors – Aquanamel as per selected colour scheme
- Architraves, skirting and all doors are full gloss as per selected colour scheme

## ROBES AND LINEN

- Vinyl robe doors with brushed aluminium frame to robes in living areas, and mirrored robes to bedrooms
- Shelving: overhead shelf, hanging rail and set of pigeon hole cupboards to all robes, 2 to master, 4 shelves to linen and walk in pantry, if a broom cupboard is provided a single overhead shelf is to be installed

## INTERNAL DOORS AND HANDLES

- Roller blinds to all clear glazed windows and sliding doors
- Brushed silver Gainsborough/Lanes/Lockwood or equivalent door hardware with privacy to master and wet areas
- Door stops and/or clips to all swing doors
- Hume redicote flush finish pre-hung with chrome or satin hinges to internal doors

# ENSUITE AND BATHROOM INCLUSIONS



## VANITY

- Cabinetry – option of either 2 Pac gloss, matt or timber look wall hung vanity
- Solid soft close doors
- 20mm Smartstone® benchtops
- Frameless mirror to width of vanity

## BASINS AND TAPWARE

- Above counter basins to bathrooms
- Flickmixer tapware to shower/bath and vanity



## SHOWER

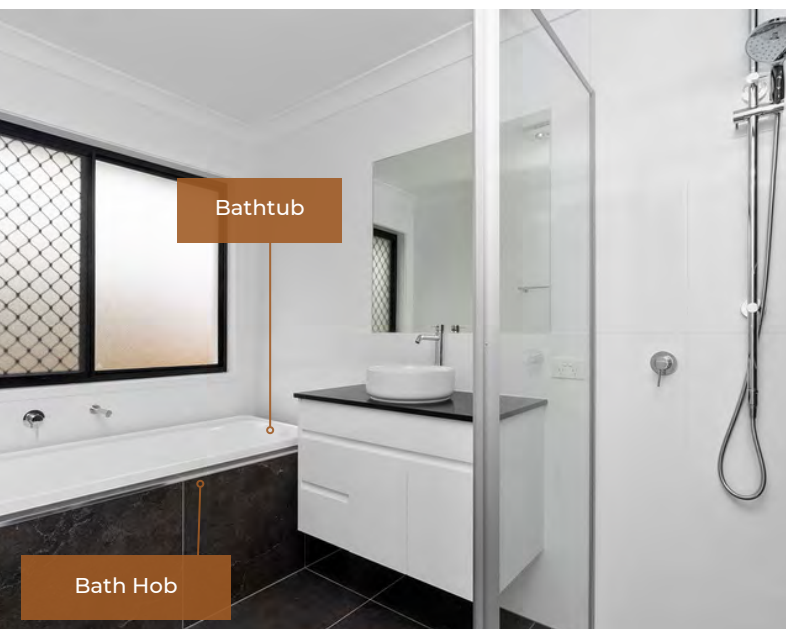
- Shower screen – clear laminated in powder coated aluminium surround. Pivot or sliding door
- Built in niches to showers
- Floor to ceiling wall tiles to showers
- Upgraded shower heads (dual control rain heads)

## BATH

- Built in and tiled bath hob
- Drop in acrylic white bathtub to bathroom only

## THE DETAILS

- 3-in-1 Tastic heat lamp with light and exhaust as per plan
- White 3.5 star ceramic toilet with soft close plastic toilet seat where shown on plan
- Chrome double towel rail to bathroom and ensuite from builders range as per plan
- Chrome toilet holder adjacent each toilet from builders range as per plan
- Feature tile option includes running floor tile up a selected wall in the showers, as well as up and over the bath hob as per plan
- Tiling to wet area walls is floor to ceiling in showers and 1100mm to the remaining walls in bathroom and ensuite



# ENSUITE AND BATHROOM INCLUSIONS



**SHOWER**  
FIENZA KAYA TWIN  
SHOWER CHROME



**BATH OUTLET**  
IKON HALI STRAIGHT  
BATH OUTLET CHROME



**BATHROOM BASIN**  
ESSENCE ROUND  
COUNTER TOP BASIN  
WHITE



**TOILET**  
VOGUE KENT  
TOILET SUITE



**SHOWER/BATH MIXER**  
IKON HALI SHOWER/BATH  
MIXER CHROME



**BASIN MIXER**  
IKON HALI HIGH RISE  
BASIN MIXER CHROME



**BATH**  
DECINA BAMBINO BATH  
WHITE

# LAUNDRY INCLUSIONS



## FIXTURES AND FINISHES

- 2 Pac gloss, matt, or timber look cabinetry to laundry to match the kitchen
- 20mm Smartstone® benchtops

## SINKS & TAPWARE

- Drop in 35L or 45L stainless steel tub
- Flickmixer gooseneck tapware – chrome/satin plated

LAUNDRY SINK



EURO WASHINGTON  
SQUARE UNDER COUNTER SINK

LAUNDRY SINK MIXER



AC HUSS GOOSENECK SINK  
MIXER CHROME

# EXTERNAL INCLUSIONS



COLORBOND® fascia, gutter & PVC painted downpipes

COLORBOND® Automatic wide panel lift lock up garage door with 2 remotes

1200mm x 2100mm Wide Entry Front Door

Brick rendered and/or cladding external walls

## WINDOWS AND DOORS

(Design and facade specific)

- Hinged front entry door – 1200mm x 2100mm Hume range with frosted glass panels, painted in accordance with selected colour scheme and manufactures specification
- Hinged rear door (if depicted on plans) to be 1/3 Glass Duracote Temp Glass, painted in accordance with selected colour scheme and manufacturers specification
- Aluminium powder coated windows and doors, obscured to wet areas unless street and/or park facing
- Aluminium powder coated screen with frame and plastic fly mesh to all openable sides of sliding doors and windows

## EXTERNAL CLADDING

(Design and facade specific)

- Brick rendered and/or cladding external walls with feature cladding

- Windows and doors to have fibre cement cladding and/or beading above where required unless otherwise noted on elevations
- Locks to all windows and sliding doors

## ROOFING AND GARAGE

(Design and facade specific)

- Roof material COLORBOND® (from standard builders selection)
- COLORBOND® fascia, gutter & PVC painted downpipes as per plan
- COLORBOND® automatic wide panel lift lock up garage door with 2 remotes
- Soffit/eave lining 4.5mm fibre cement sheet
- 31 x 11 finger joint beading to seal eaves and wall joint

# EXTERNAL INCLUSIONS



## FRAME

- To be constructed in accordance with current Building Regulations, National Construction Code and Australian Standards
- Timber Frame and Trusses to be erected in accordance with current National Construction Code and Australian Standards N2/N3 wind rating unless alternative wind rating specified by structural engineer/certifier
- 2740mm ceiling height to ground level/ 2440mm to upper levels as indicated on architectural working drawings
- Building structure to meet building classification
- Termite treatment – perimeters and penetrators as per Australian Standards
- Site cut and fill where required to a maximum of 500mm (cut & fill)
- Footings and/or screw piers and slab and/or suspended floor constructed depending on site conditions to engineers specifications
- Building Services Authority Insurance (6 years 6 months' structural warranty from commencement date as per QBCC New Home Warranty)
- 12 Month maintenance period from date of handover.
- Developer Covenant Approval – minor design amendment may need to be made to the roof, external finish and colours to gain approval

## PRELIMINARIES

- Council/Certifier Building approval to current Legislation Standards. Architectural Drawings may require minor modifications to gain approval.
- Council plumbing approval to current Legislation Standards
- Energy efficiency compliance to National Construction Code



# EXTERNAL INCLUSIONS



## ALFRESCO

(Design and facade specific)

- Under roof alfresco with exposed aggregate

## LANDSCAPING

- Turf/pebble and or mulch to site where possible with a garden bed to front

## DRIVEWAY

- Exposed aggregate driveway
- Exposed aggregate alfresco and front porch

## FENCING

- Timber paling fencing to rear, sides and returns where no existing fence provided to site
- Fence to include 1 single gate with timber paling finish
- Pine and/or face brick rendered feature posts to porch where applicable

## OTHER FINISHES

- Wall or fence mounted clothesline
- Mail box with applicable street number to match home
- Gas regulator or gas meter fixed to external wall or fence

## MINIMUM 6 STAR ENERGY RATING

- Bulk ceiling and/or external wall insulation to achieve required energy rating
- Wall sarking to achieve required energy rating

# SPECIFICATIONS OF WORKS

## PRELIMINARIES & APPROVALS

- Council/Certifier Building approval to current Legislation Standards. Architectural Drawings may require minor modifications to gain approval
- Council plumbing approval to current Legislation Standards
- Energy efficiency compliance to National Construction Code
- Building structure to meet building classification
- Termite treatment – perimeters and penetrators as per Australian Standards
- Site cut and fill where required to a maximum of 500mm (cut & fill)
- Footings and/or screw piers and slab and/or suspended floor constructed depending on site conditions to engineers specifications
- Building Services Authority Insurance (6 years 6 months' structural warranty from commencement date as per QBCC New Home Warranty)
- 12 Month maintenance period from date of handover
- Developer Covenant Approval – minor design amendment may need to be made to the roof, external finish and colours to gain approval

## FRAME

- To be constructed in accordance with current Building Regulations, National Construction Code and Australian Standards
- Frame and Trusses to be erected in accordance with current National Construction Code and Australian Standards N2/N3 wind rating unless alternative wind rating specified by structural engineer/certifier
- 2740mm ceiling heights to ground level as indicated on architectural working drawings
- Frames to be supplied in timber

## EXTERIOR FINISHES

- Roof material COLORBOND® (from standard builders selection)
- COLORBOND® fascia, gutter & PVC painted downpipes as per plan
- COLORBOND® automatic wide panel lift lock up garage door with 2 remotes

- Hinged front entry door – 1200mm x 2100mm Hume range with frosted glass panels, painted in accordance with selected colour scheme and manufactures specification
- Hinged rear door (if depicted on plans) to be 1/3 Glass Duracote Temp Glass, painted in accordance with selected colour scheme and manufacturers specification
- Aluminium powder coated windows and doors, obscured to wet areas unless street and/or park facing
- Aluminium powder coated screen with frame and plastic fly mesh to all openable sides of sliding doors and windows. Note design covenant requirements for estate may not permit diamond barrier screen, in this instance standard plastic fly screens to be provided (if in bushfire area screens are as per AS3959-2009)
- Brick rendered and/or cladding external walls with feature cladding painted as per architectural working drawings and client signed builders nominated colour scheme
- Windows and doors to have fibre cement cladding and/or beading above where required unless otherwise noted on elevations
- Under roof alfresco with exposed aggregate as per plan (site conditions permitting)
- All exterior colour finishes are from builders standard colour scheme as nominated

## KITCHEN & APPLIANCES

- 2 Pac gloss, matt, or timber look cabinetry, soft close hinges and finger pull doors and drawers (no handles) with overhead cupboards and microwave recess as per plan
- Polished edge stone benchtops with breakfast bar
- 900mm upright stainless steel gas cooktop and oven in one
- Undermount rangehood built in to overhead cabinetry as per plan
- Stainless steel 1 ½ bowl underslung sink
- Stainless steel dishwasher
- Flickmixer gooseneck tapware – chrome/satin plated
- Single fridge water connection

# SPECIFICATIONS OF WORKS

## BATHROOM, TOILETS & ENSUITE

- Cabinetry – option of either 2 Pac gloss, matt or timber look wall hung vanity with solid soft close doors and 20mm stone benchtop
- Frameless mirror to width of vanity as per plan
- Built in and tiled bath hob with drop in acrylic white bathtub to bathroom only
- 3-in-1 Tastic heat lamp with light and exhaust as per plan
- Flickmixer tapware to shower/bath and vanity
- Shower screen – clear laminated in powder coated aluminium surround. Pivot or sliding door
- White 3.5 star ceramic toilet with soft close plastic toilet seat where shown on plan
- Niche to showers as depicted on plan
- Chrome double towel rail to bathroom and ensuite from builders range as per plan
- Chrome toilet holder adjacent each toilet from builders range as per plan

## TILING

- Tile range, 600 x 600 polished or semi porous porcelain throughout as per plans, 600 x 600 polished or semi porous porcelain to shower and 600 x 300 rectified wall tiles and splashback as per colour scheme from builders range
- Feature tile option includes running floor tile up a selected wall in the showers, as well as up and over the bath hob as per plan
- Tiling to wet area walls is floor to ceiling in showers and 1100 to the remaining walls in bathroom and ensuite. Skirting tile to laundry and toilet as per selected colour scheme

## ELECTRICAL

- Lighting – White fitted LED lights as per electrical plan
- External lighting – porch, alfresco and front of garage
- Double power points to all bedrooms and living areas
- Single power points to garage and kitchen
- Ducted air conditioning
- Air-con isolator on external wall
- 1 telephone point
- TV Antenna (if not in a Smartwire – OptiComm or Telstra Velocity area)
- RCD Safety switch
- 2 TV Points

- 2 Data Points
- White ceiling fans to all bedrooms, living and alfresco
- Instantaneous gas hot water system
- External power point to service gas hot water system
- Exhaust fan to toilet where shown on plans
- Smoke alarms to all bedrooms and applicable internal areas to conform with legislation at time of Building Approval

## PAINTING

- Internal 3 coat paint system (1 coat of sealer & 2 coats of colour)
- Builders selection paint as per selected colour scheme
- Custom colour scheme if requested
- White colour finish to all ceilings and cornice
- White internal walls premium sealer & professional low sheen
- Feature paint work to front façade, as per selected colour scheme, plan and covenant requirements
- Doors – Aquanamel as per selected colour scheme
- Architraves, skirting and all doors are full- gloss as per selected colour scheme
- Soffit/eave lining – ceiling white colour finish
- Downpipes painted to match roof, fascia, gutter or wall

## PLASTER

- To be supplied & installed in accordance with current Australian Standards
- 90mm cornice
- Ceilings & walls 10mm plasterboard
- Wet area walls 6mm villa board or 10mm waterproof plaster board

# SPECIFICATIONS OF WORKS



## INTERNAL FINISH

- Brushed silver Gainsborough/Lanes/Lockwood or equivalent door hardware with privacy to master and wet areas
- Door stops and/or clips to all swing doors
- Hume redicote flush finish pre-hung with chrome or satin hinges to internal doors
- Vinyl robe doors with brushed aluminium frame to robes in living areas, and mirrored robes to bedrooms
- Architrave 66mm x 11mm
- Skirting 66mm x 11mm
- Shelving: overhead shelf, hanging rail and set of of pidgin hole cupboards to all robes, two to master, 4 shelves to linen and walk in pantry, if a broom cupboard is provided a single overhead shelf is to be installed

## OTHER FINISHES

- Carpet to all bedrooms and/or living as per plans and builders range selected colour scheme
- Wall or fence mounted clothesline
- Mail box with applicable street number to match home
- 2 Pac base cabinet to laundry to match kitchen with 20mm stone benchtop and drop in 35L or 45L stainless steel tub
- Locks to all windows and sliding doors
- Roller blinds to all clear glazed windows and sliding doors
- Bulk ceiling and/or external wall insulation to achieve required energy rating
- Wall sarking to achieve required energy rating
- Eaves as per plan – changes may be required to comply with council or covenant requirements
- Soffit/eave lining 4.5mm fibre cement sheet
- 31 x 11 finger joint beading to seal eaves and wall joint
- Gas regulator or gas meter fixed to external wall or fence

## EXTERIOR & LANDSCAPING

- Turf/pebble and or mulch to site where possible with a garden bed to front as per covenant requirements (minimum garden beds to street front as per covenant requirements or 1 x 15m2 garden bed depending on site frontage and slope where possible) Batters to be mulched
- Exposed aggregate driveway, unless specified by developer or required to match existing driveway colour
- Exposed aggregate alfresco and front porch unless specified by developer or required to match existing driveway colour or deck depending on site conditions. Client may also request to have plain concrete to these areas if acceptable with developers' covenant guidelines
- Timber paling fencing to rear, sides and returns where no existing fence provided to site and where possible depending site conditions Fence to include 1 single gate with timber paling finish. Note covenant approval may require alternative fencing finish and requirements which are to be adhered to
- Pine and/or face brick rendered feature posts to porch where applicable



PH: 07 5502 6252  
[admin@karston.com.au](mailto:admin@karston.com.au)  
[www.karston.com.au](http://www.karston.com.au)  
ABN: 74 640 557 008  
QBCC Licence: 15199098

## DISCLAIMER

Current as at April 2023. This brochure is a guide only. Refer to quote or contract documentation for specific details. Standard inclusions are subject to availability and Karston Building Group reserves the right to alter the inclusions without notice. Speak to a New Home Consultant for more information.

# EXPRESSION OF INTEREST



## PROPERTY DETAILS:

Property Address:					
Purchase Price:			Deposit Amount:		
Deposit Method:	Direct Deposit	Card	Cash	Cheque	Other

## BUYER 1 DETAILS:

*As per drivers licence and passport*

Full Name:	First:	Middle:	Last:
Address:	State:	Post Code:	
Email:	Mobile:		

## BUYER 2 DETAILS:

*As per drivers licence and passport*

Full Name:	First:	Middle:	Last:
Address:	State:	Post Code:	
Email:	Mobile:		

Are you an Owner Occupier or Investor?	Owner Occupier	Investor
If you're an Owner Occupier, is this your First Home?	Yes	No
Do you require FIRB Approval?	Yes	No

## FINANCE DETAILS:

Are you a cash buyer?	Yes	No
Do you have finance approval?	Yes	No
Have you attached the finance approval?	Yes	No
Proposed Finance Date:	Proposed Settlement Date:	
Any further information to provide:		

**BROKER DETAILS:**

Company Name:		Contact Name:	
Address:			
City/Suburb:	State:	Post Code:	
Phone:		Email:	

**SOLICITOR DETAILS:**

Solicitor Firm:		Contact Name:	
Address:			
City/Suburb:	State:	Post Code:	
Phone:		Email:	

**CREDIT CARD DETAILS (if applicable):**

Name on Card:		
Credit Card Number:		
Expiry Date:	CCV:	Type (E.g. Visa):
Amount:		
Signature:		

**CONTRACT REQUIREMENTS:*****Do you require any of the following in your contract?***

Unconditional Offer:	Yes	No
Finance Clause:	Yes	No
Foreign Investment Review Board Approval:	Yes	No

***Buyer Signatures: I hereby request the preparation of all contract documentation and if applicable will authorise the processing of my/our credit card.***

	NAME	SIGNATURE	DATE
<b>BUYER 1</b>			
<b>BUYER 2</b>			

***I consent to electronic communication and consent to receive the Contract and transaction documents electronically.***