

DISCLOSURE PLAN PROPOSED LOT 1

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 41 on RP82952
Locality of Burpengary

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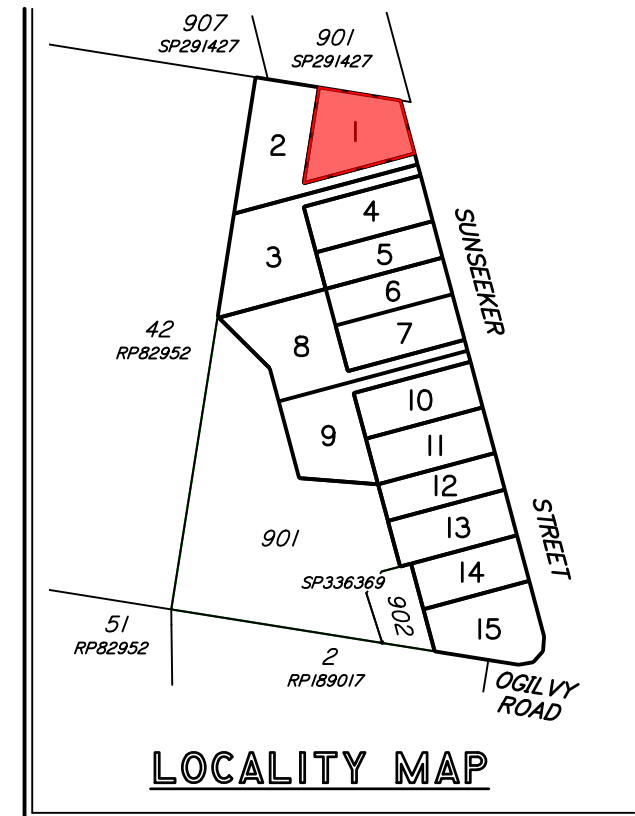
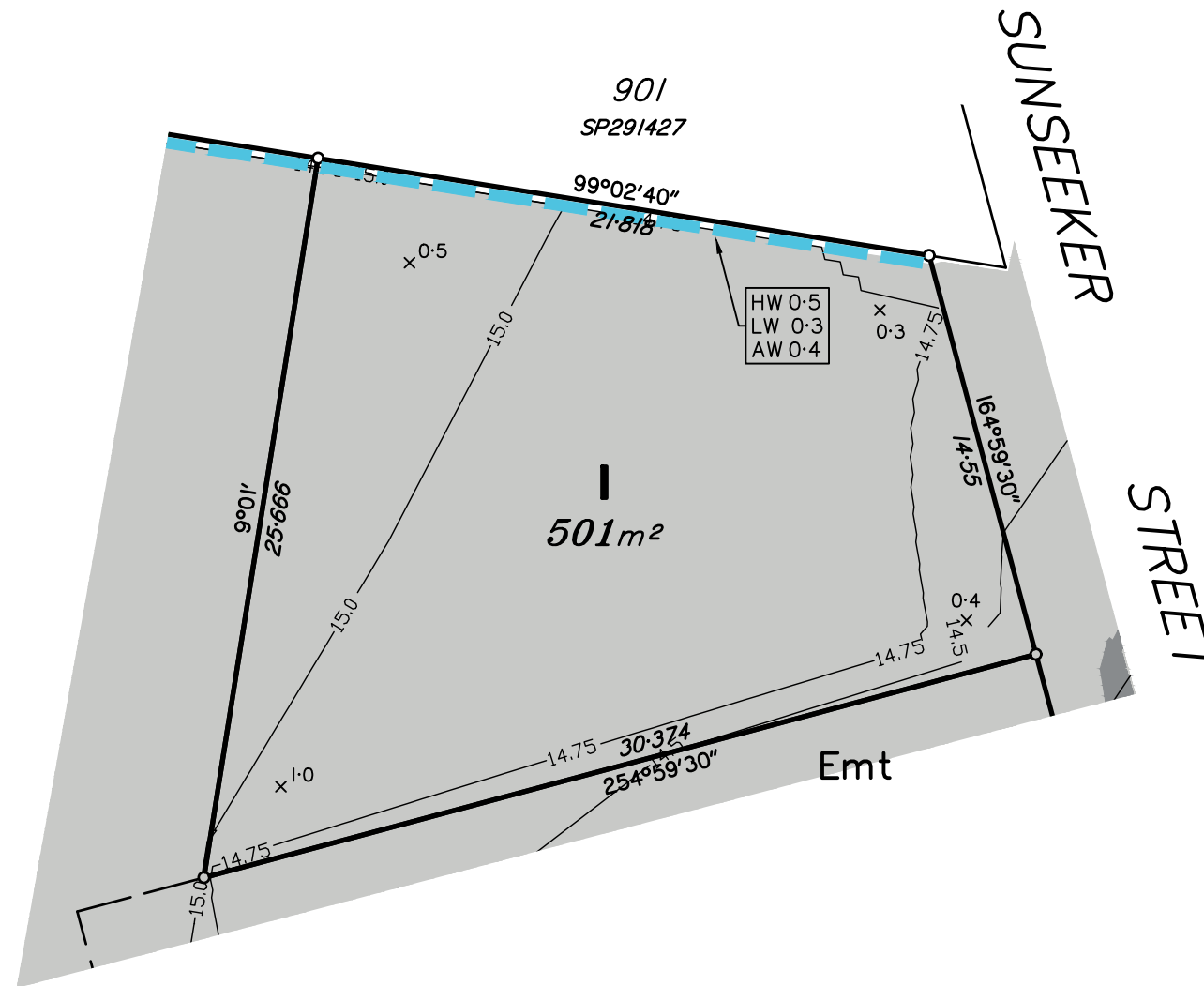
Contour Interval – 0.25 metre

- Design Contours
 - Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- | | |
|--------|--|
| HW 1.0 | Height of Highest Point of Wall (Metres) |
| LW 0.2 | Height of Lowest Point of Wall (Metres) |
| AW 0.6 | Average Height of Wall (Metres) |

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level I inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

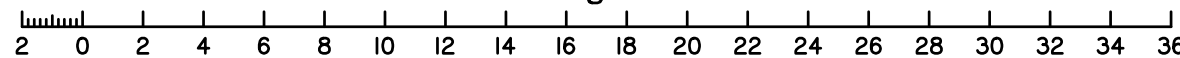
- x 0.1 Cut/Fill, calculated between design and existing surface contours
- Area to be Cut, as supplied by Colliers International Engineering & Design Pty Ltd
- Area to be Filled, as supplied by Colliers International Engineering & Design Pty Ltd

Lot levels and earthworks derived from Engineering Drawings.



LOCALITY MAP

Scale 1:250 – Lengths are in Metres.



Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD

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B	UPDATED ENGINEERING DESIGN	28/04/23	DAR	AV
A	ORIGINAL ISSUE	2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/1	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 2

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Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- | |
|--------|
| HW 1.0 |
| LW 0.2 |
| AW 0.6 |

 Height of Highest Point of Wall (Metres)
 Height of Lowest Point of Wall (Metres)
 Average Height of Wall (Metres)

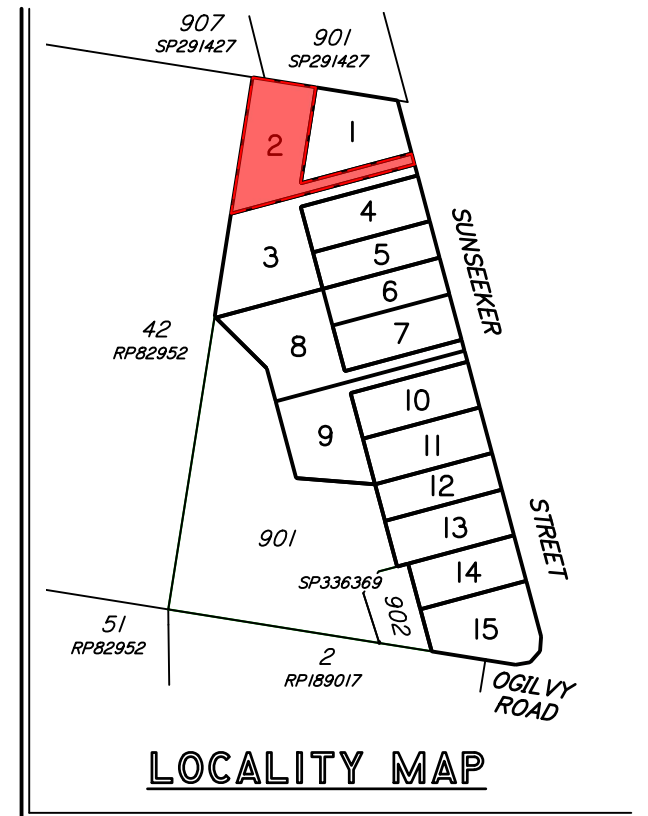
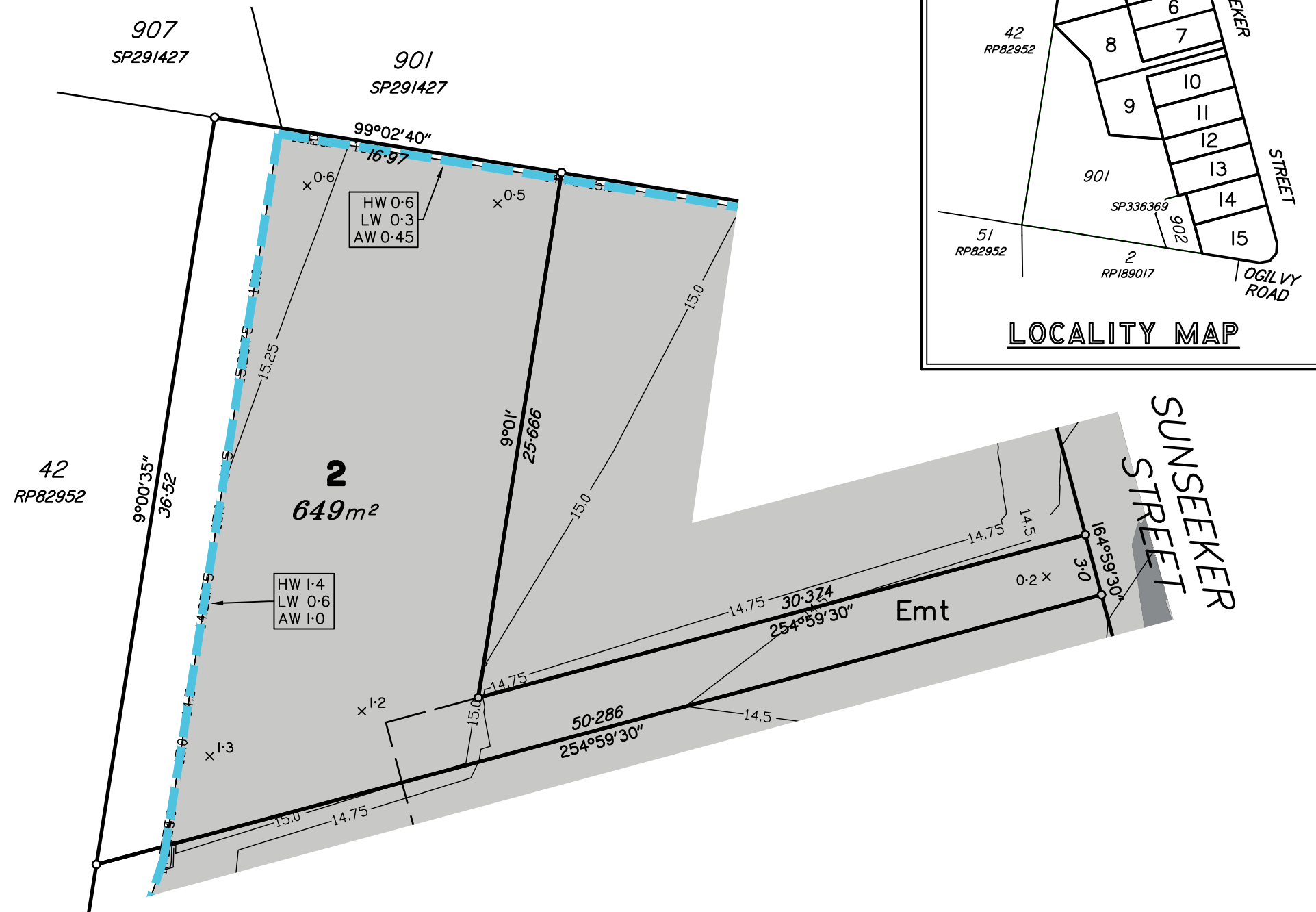
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- x 0.1 Cut/Fill, calculated between design and existing surface contours
- | |
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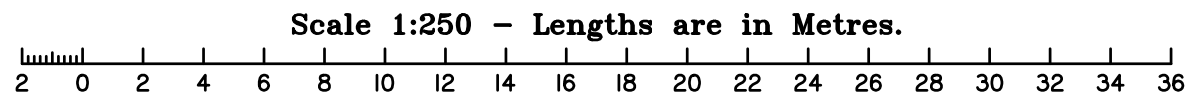
 Area to be Cut, as supplied by Colliers International Engineering & Design Pty Ltd
- | |
|--|
| |
|--|

 Area to be Filled, as supplied by Colliers International Engineering & Design Pty Ltd

Lot levels and earthworks derived from Engineering Drawings.



Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD



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B A	UPDATED ENGINEERING DESIGN ORIGINAL ISSUE	28/04/23 2/06/22	DAR DAR	AV AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/2	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 3

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Locality of Burpengary

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Contour Interval – 0.25 metre

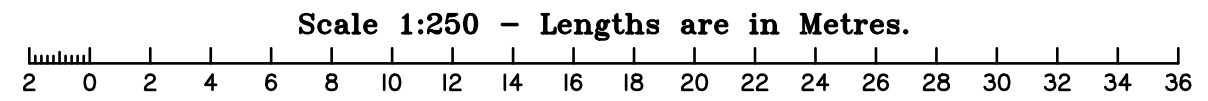
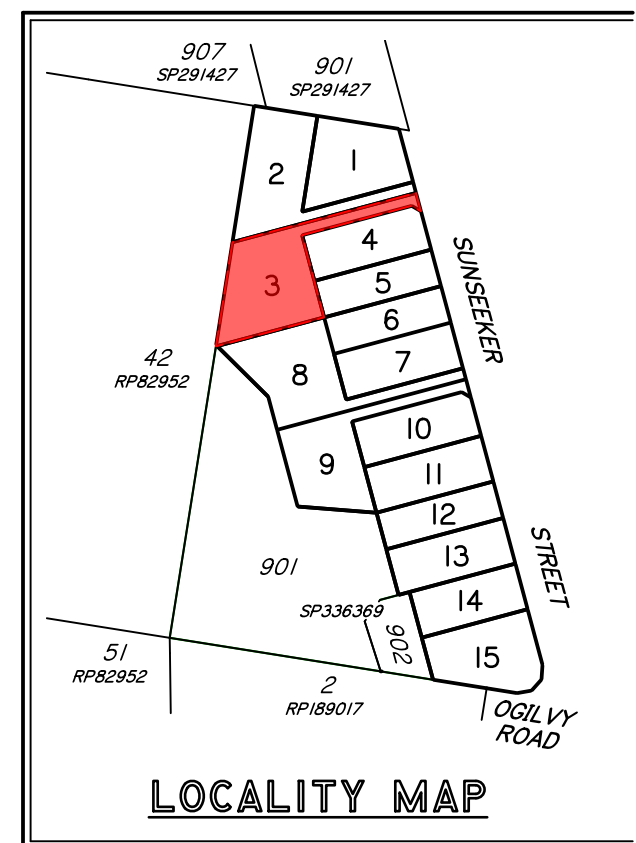
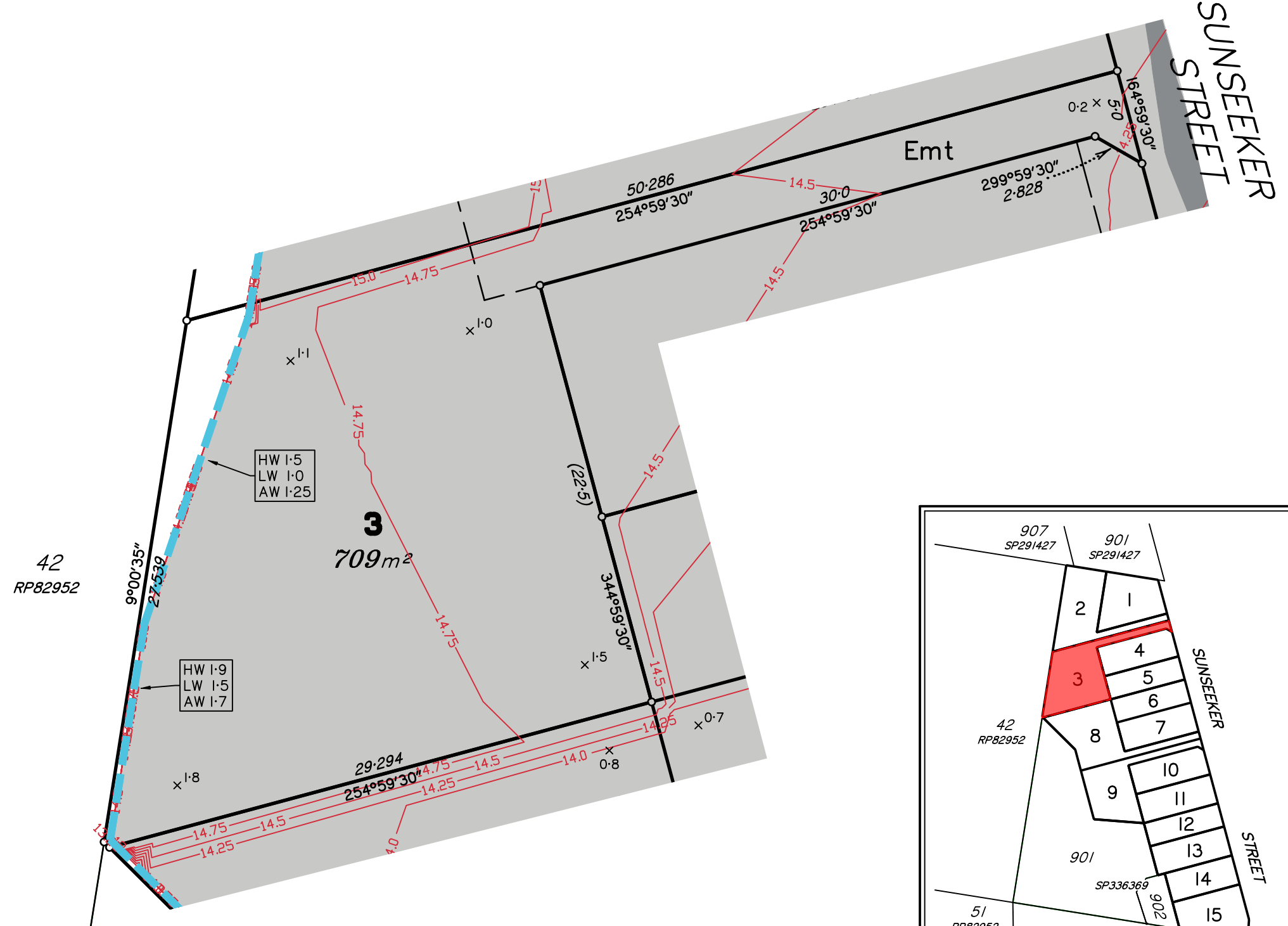
- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0 Height of Highest Point of Wall (Metres)
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- AW 0.6 Average Height of Wall (Metres)

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level I inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

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Lot levels and earthworks derived from Engineering Drawings.

Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD



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C	LOT BOUNDARIES UPDATED	20/03/24	DAR	AV
B	UPDATED ENGINEERING DESIGN	28/04/23	DAR	AV
A	ORIGINAL ISSUE	2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No:	A3-6516/3	Issue:	C
Project:	BNE180387		
File:	BI80387Dis1.dwg		

DISCLOSURE PLAN PROPOSED LOT 4

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Locality of Burpengary

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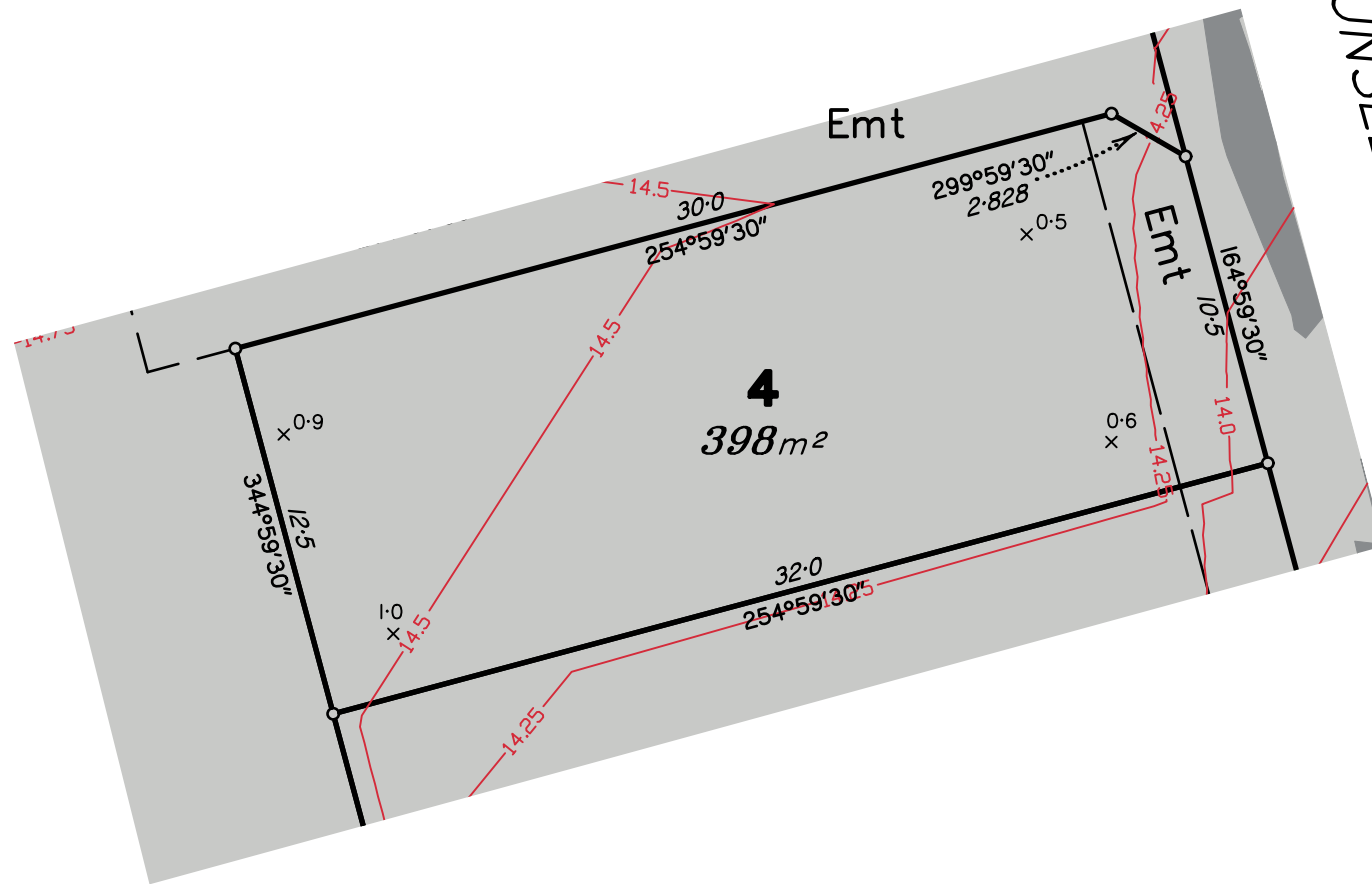
Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0 Height of Highest Point of Wall (Metres)
- LW 0.2 Height of Lowest Point of Wall (Metres)
- AW 0.6 Average Height of Wall (Metres)

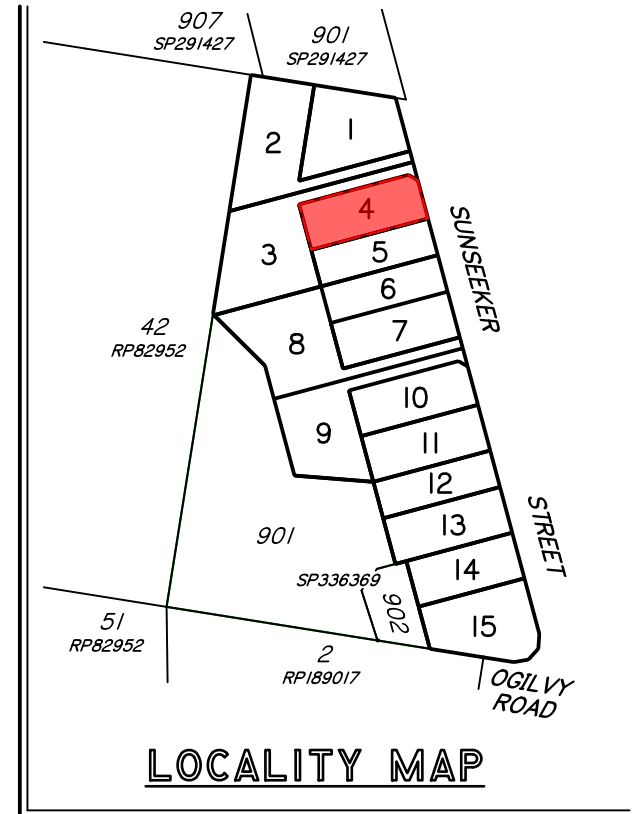
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Lot levels and earthworks derived from Engineering Drawings.

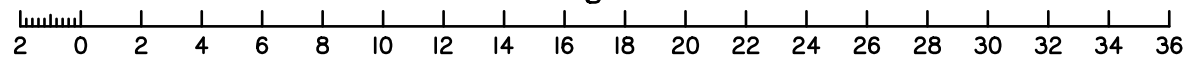


SUNSEEKER STREET



LOCALITY MAP

Scale 1:250 – Lengths are in Metres.



Meridian: MGA Zone 56 Yes No Contour Height Datum: AHD



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C	LOT BOUNDARIES UPDATED	20/03/24	DAR	AV	DISCLOSURE PLAN GOODROCK PROPERTY OGILVY ROAD, BURPENGARY	Dwg No: A3-6516/4	Issue: C
B	UPDATED ENGINEERING DESIGN & EASEMENT ADDED	28/04/23	DAR	AV		Project: BNE180387	
A	ORIGINAL ISSUE	2/06/22	DAR	AV		File: B180387Dis1.dwg	
Issue	Details	Date	Drawn	Checked			

DISCLOSURE PLAN PROPOSED LOT 5

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Locality of Burpengary

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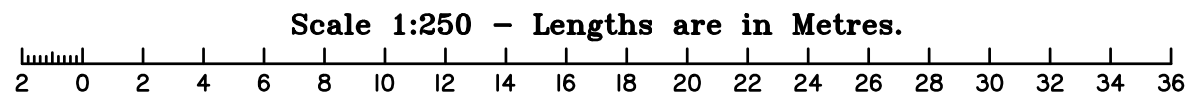
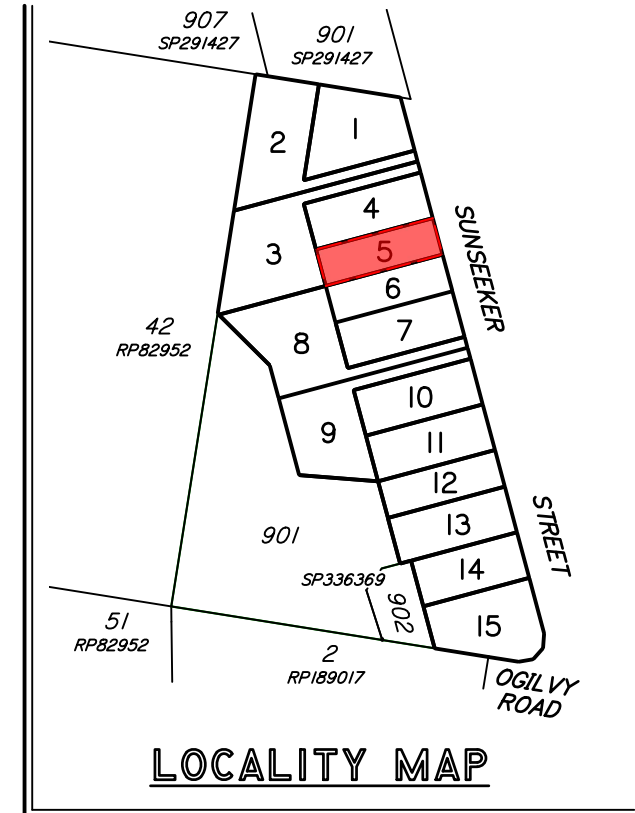
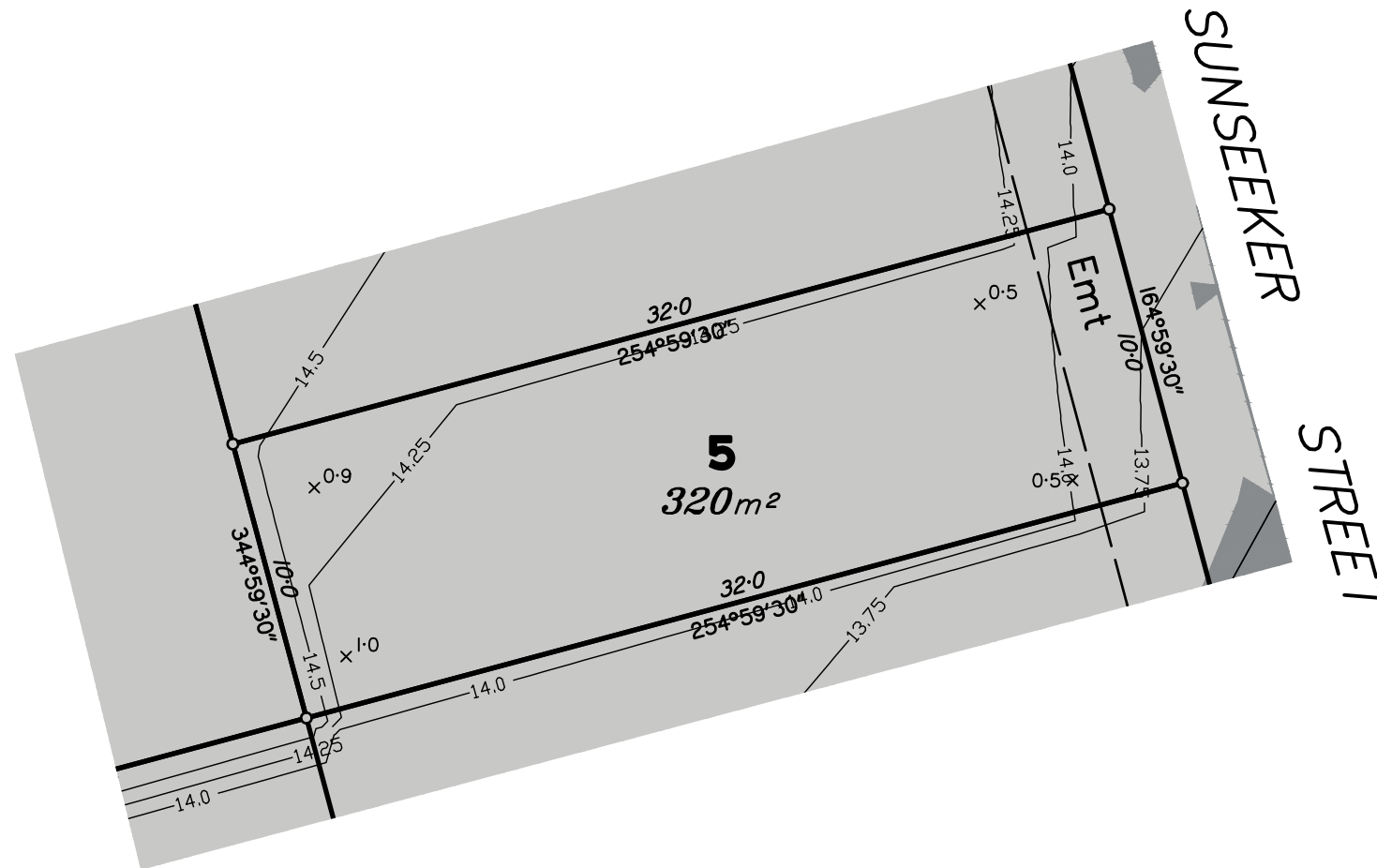
Contour Interval – 0.25 metre

- Design Contours
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Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD

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B	UPDATED ENGINEERING DESIGN & EASEMENT ADDED ORIGINAL ISSUE	28/04/23	DAR	AV
A		2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/5	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 6

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Locality of Burpengary

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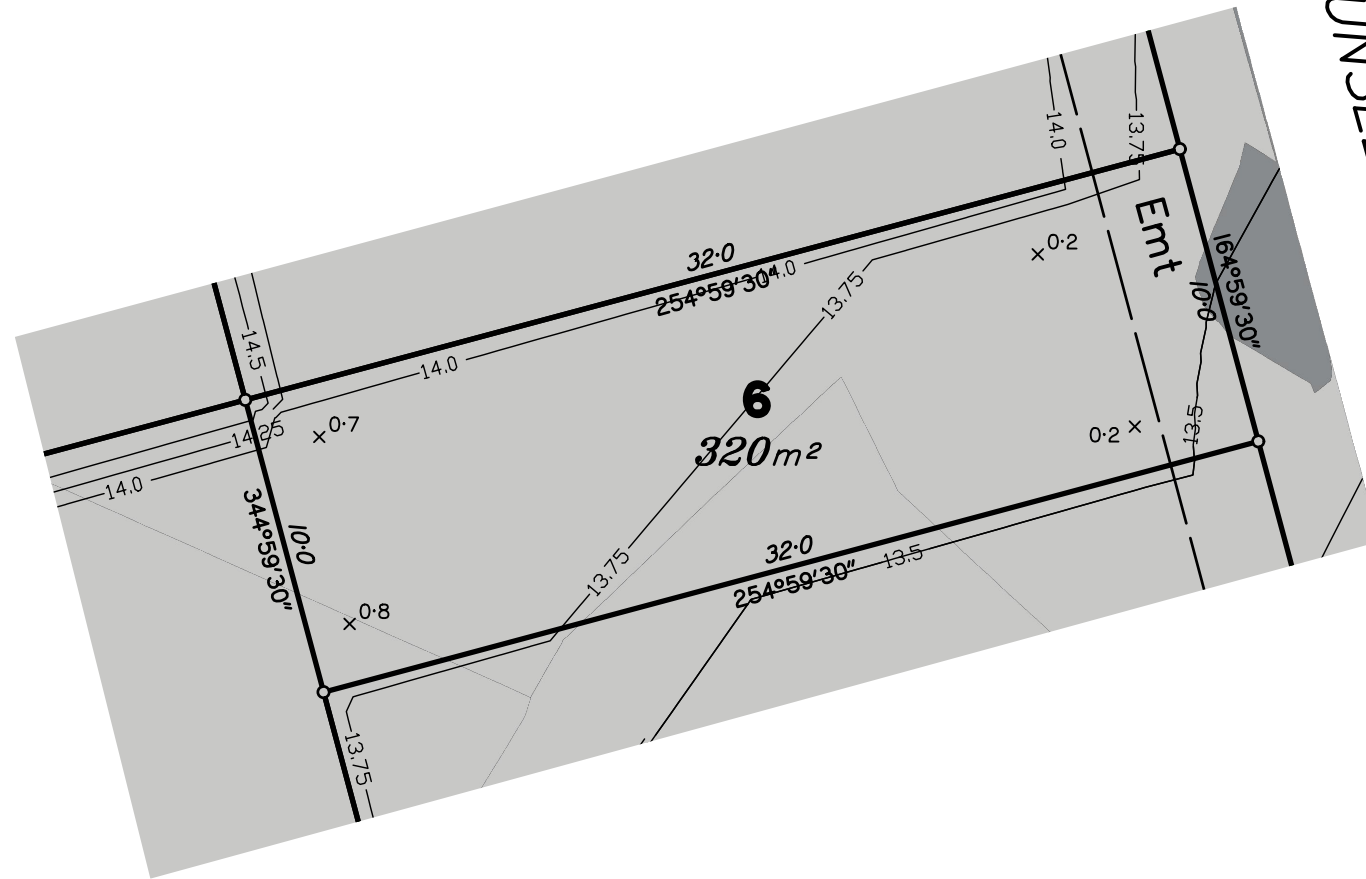
Contour Interval – 0.25 metre

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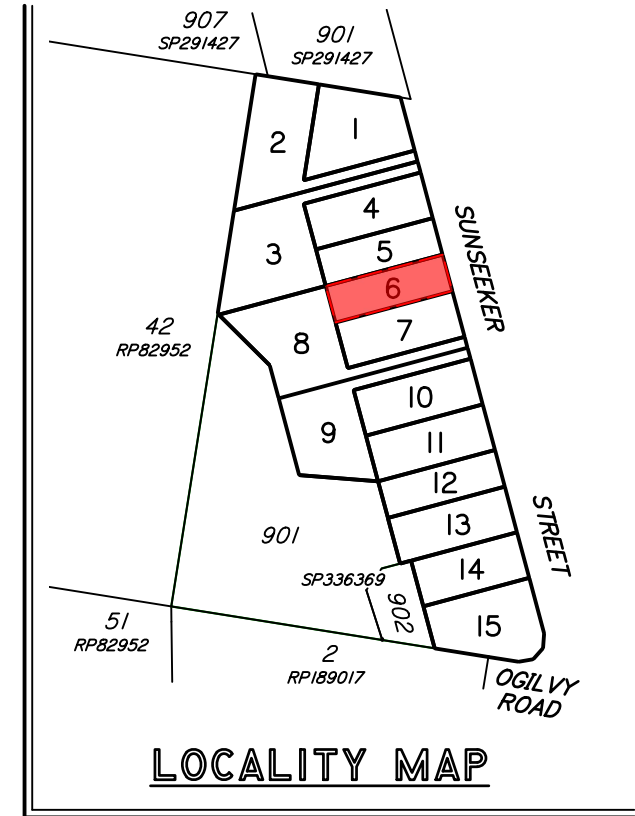
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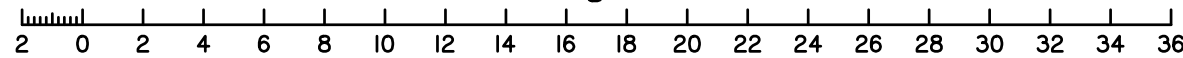


SUNSEEKER STREET



LOCALITY MAP

Scale 1:250 – Lengths are in Metres.



Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD

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B	UPDATED ENGINEERING DESIGN & EASEMENT ADDED ORIGINAL ISSUE	28/04/23	DAR	AV
A		2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/6	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 7

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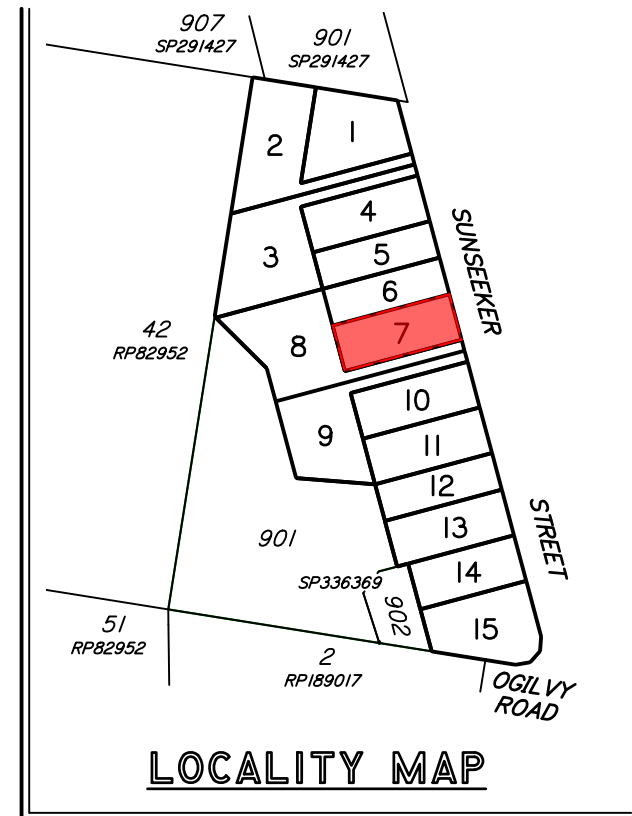
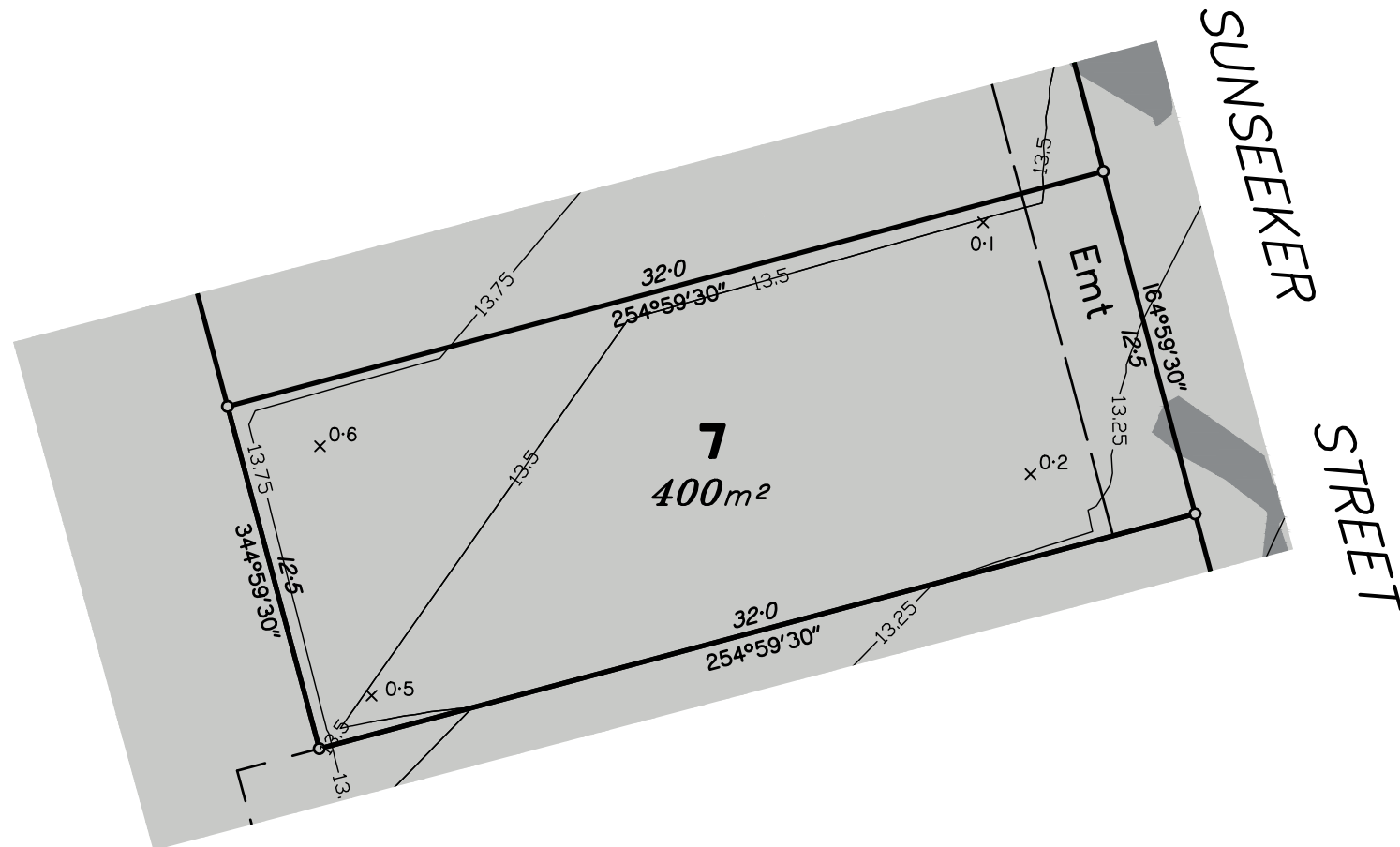
Contour Interval – 0.25 metre

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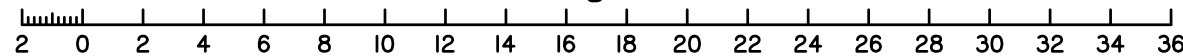
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LOCALITY MAP

Scale 1:250 – Lengths are in Metres.



Meridian: MGA Zone 56 Yes No Contour Height Datum: AHD

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A	ORIGINAL ISSUE	2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/7	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 8

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Locality of Burpengary

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Contour Interval – 0.25 metre

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|--------|
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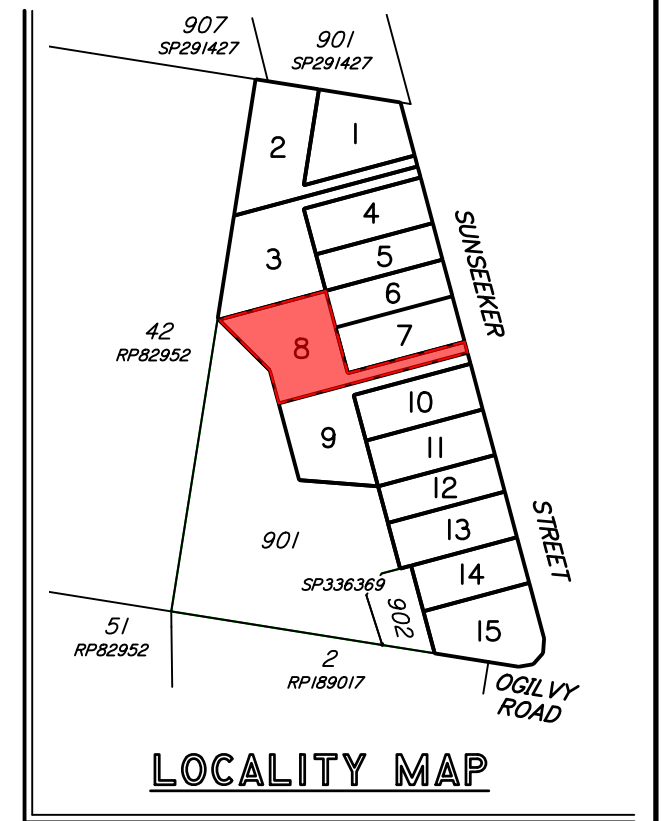
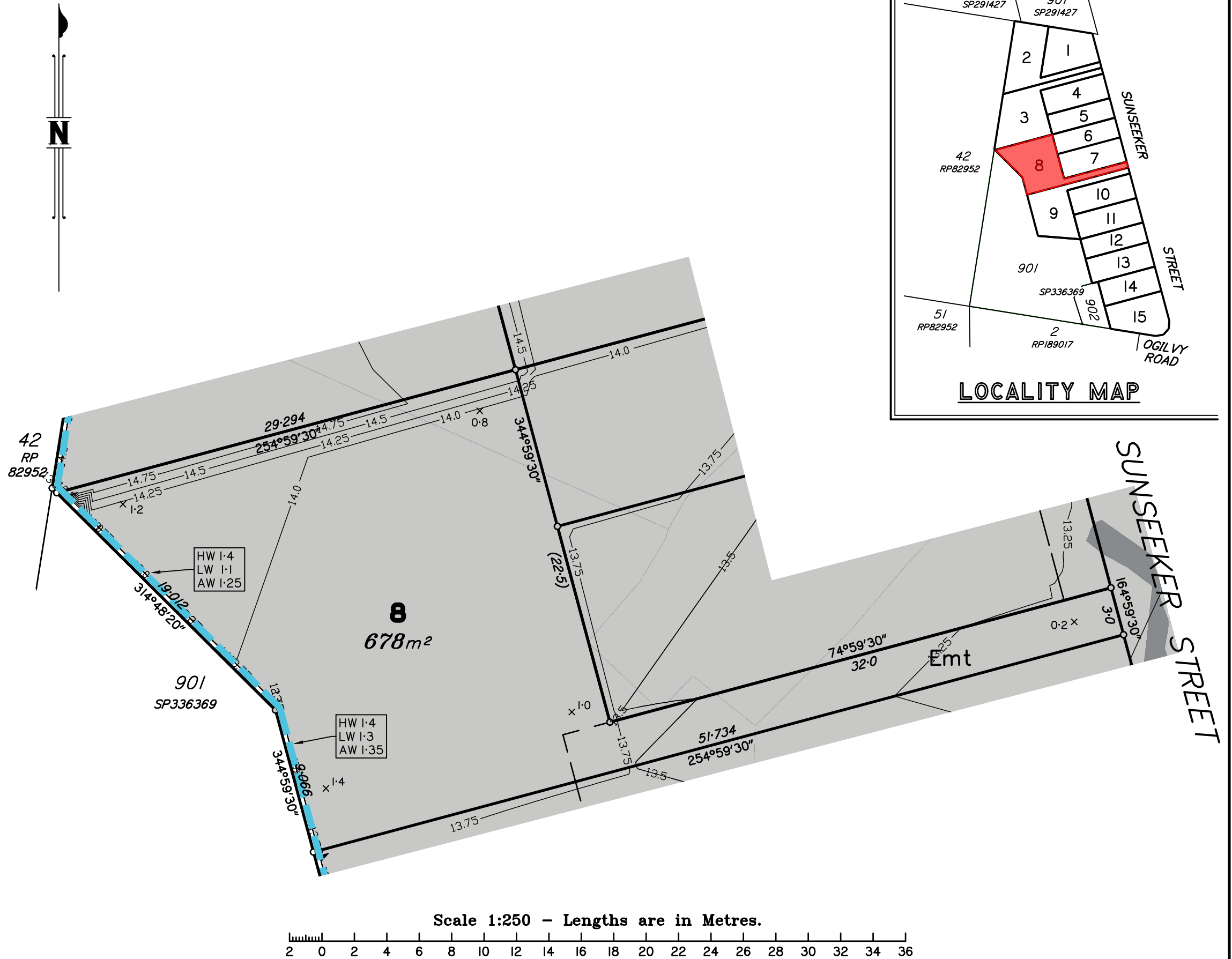
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Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD



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A		2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/8	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 9

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Locality of Burpengary

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Contour Interval – 0.25 metre

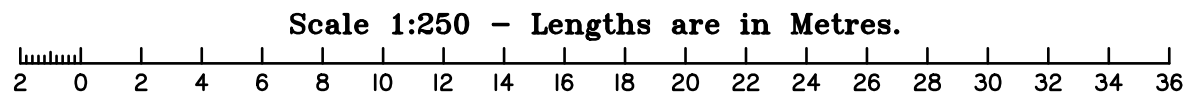
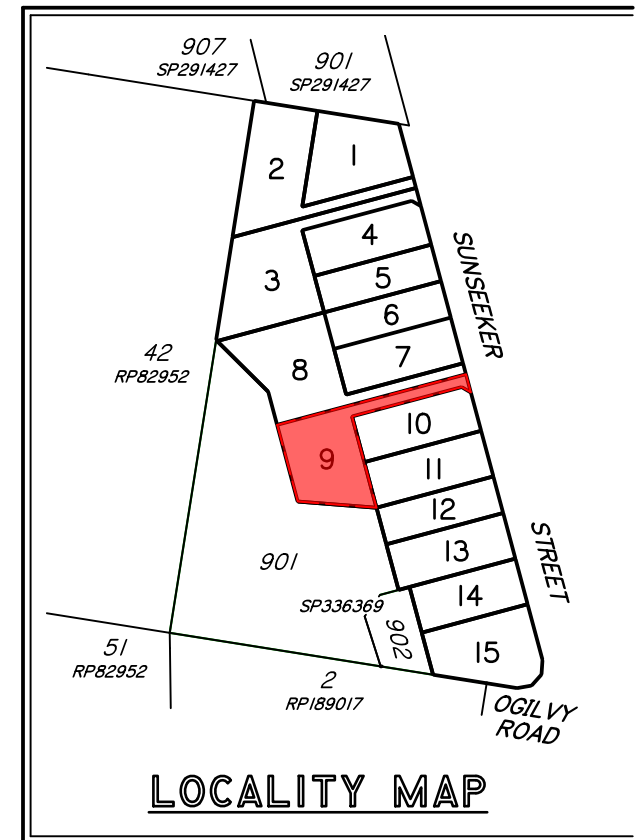
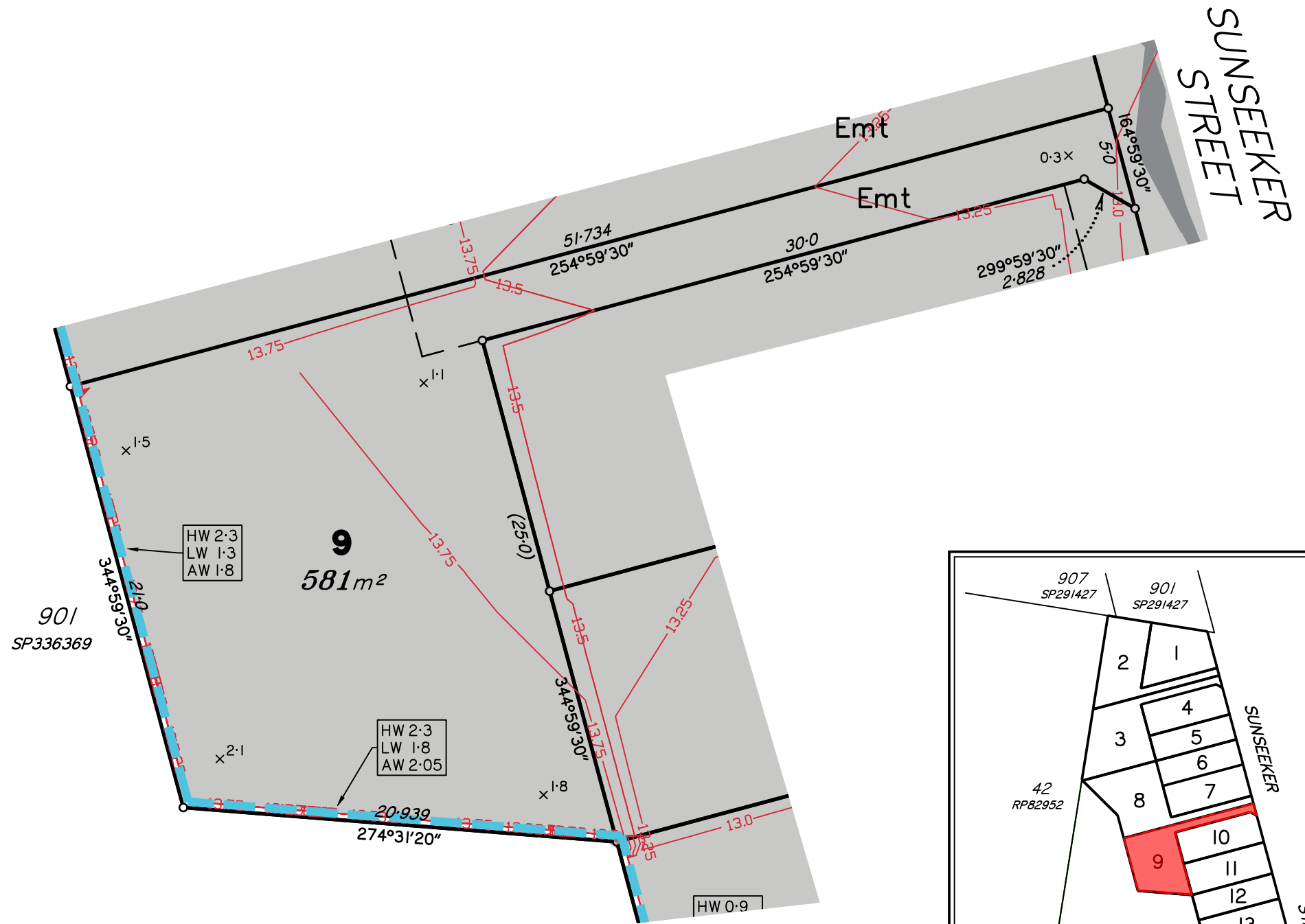
- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0 Height of Highest Point of Wall (Metres)
- LW 0.2 Height of Lowest Point of Wall (Metres)
- AW 0.6 Average Height of Wall (Metres)

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level I inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

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- Area to be Cut, as supplied by Colliers International Engineering & Design Pty Ltd
- Area to be Filled, as supplied by Colliers International Engineering & Design Pty Ltd

Lot levels and earthworks derived from Engineering Drawings.

Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD



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C	LOT BOUNDARIES UPDATED	20/03/24	DAR	AV
B	UPDATED ENGINEERING DESIGN	28/04/23	DAR	AV
A	ORIGINAL ISSUE	2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/9	Issue: C
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT II

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 41 on RP82952
Locality of Burpengary

1. These notes form an integral part of this plan. No part of this plan may be reproduced without these notes being included.
2. All dimensions and areas shown are subject to final survey and relevant local authority approval.
3. This plan has been prepared for issue to a buyer as a disclosure plan under the Land Sales Act 1984. It is not to be used for any other purpose.
4. Levels and contours shown on this plan are not to be used for building design or construction; a topographical survey of the site is required.
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6. For further detail regarding services, facilities and features which may have relevance to the proposed lot, reference should be made to the Development Application approval conditions, the approved operational works drawings and current engineering drawings.

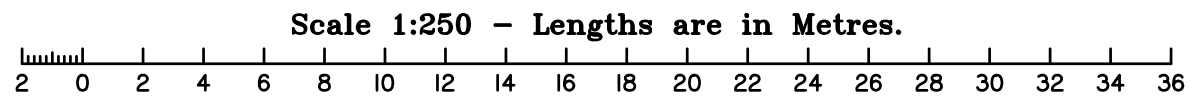
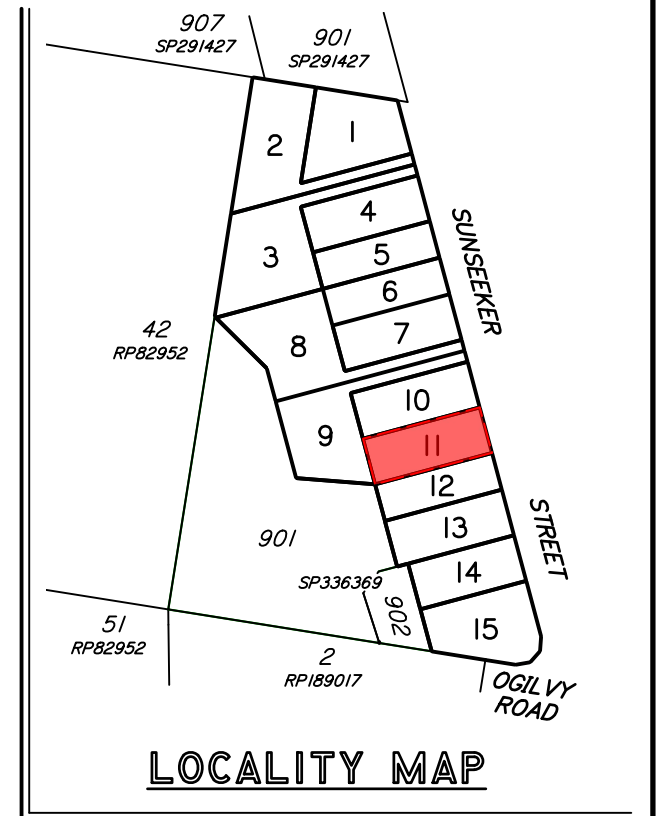
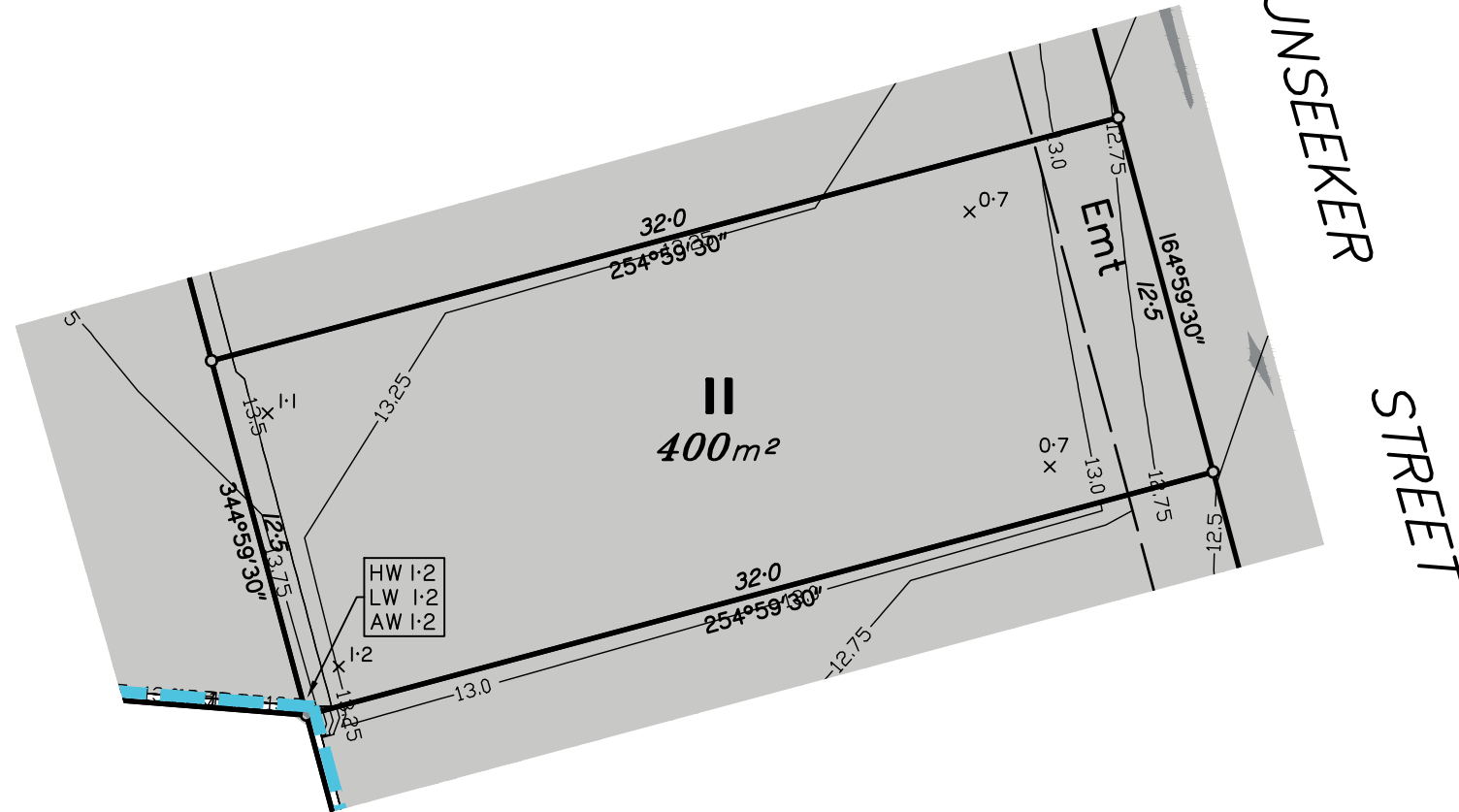
Contour Interval – 0.25 metre

- Design Contours
 - Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- | | |
|--------|--|
| HW 1.0 | Height of Highest Point of Wall (Metres) |
| LW 0.2 | Height of Lowest Point of Wall (Metres) |
| AW 0.6 | Average Height of Wall (Metres) |

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level I inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

- x 0.1 Cut/Fill, calculated between design and existing surface contours
- Area to be Cut, as supplied by Colliers International Engineering & Design Pty Ltd
- Area to be Filled, as supplied by Colliers International Engineering & Design Pty Ltd

Lot levels and earthworks derived from Engineering Drawings.



Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD

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B	UPDATED ENGINEERING DESIGN & EASEMENT ADDED	28/04/23	DAR	AV
A	ORIGINAL ISSUE	2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/ II	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 12

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 41 on RP82952
Locality of Burpengary

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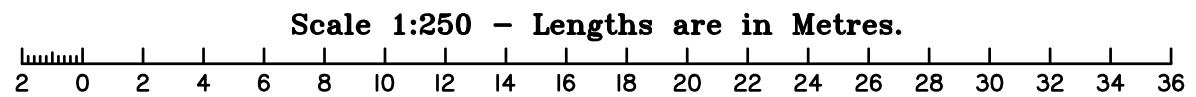
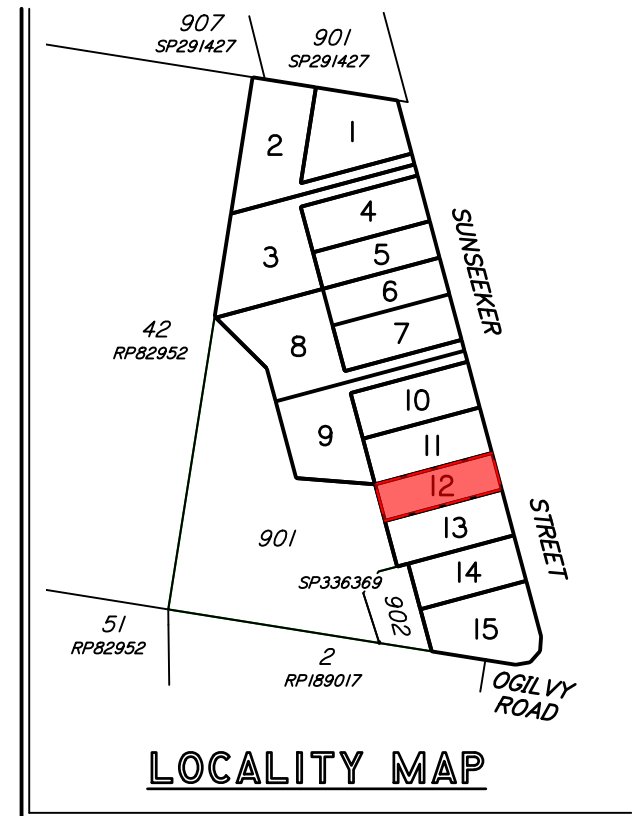
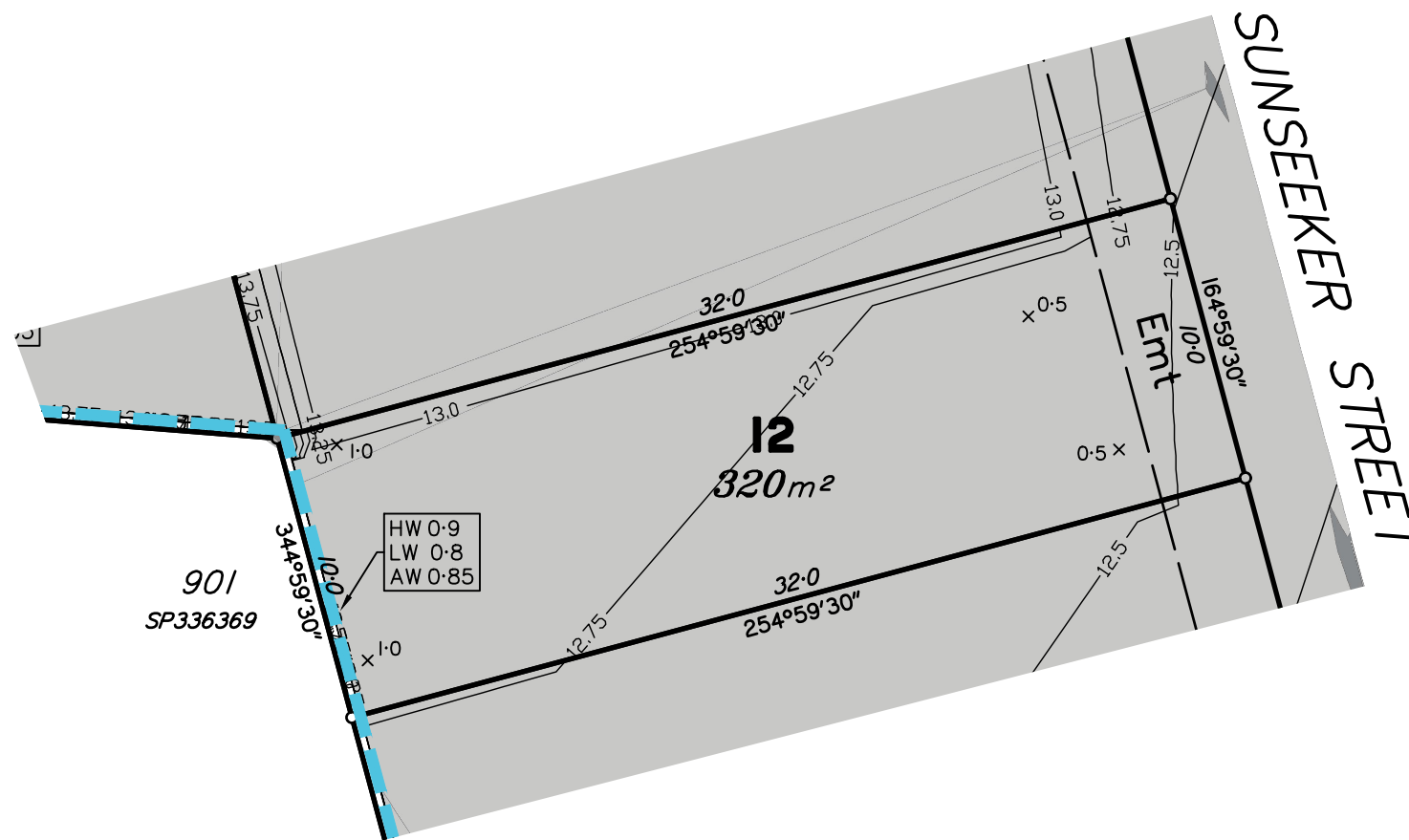
Contour Interval – 0.25 metre

- Design Contours
 - Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- | | |
|--------|--|
| HW 1.0 | Height of Highest Point of Wall (Metres) |
| LW 0.2 | Height of Lowest Point of Wall (Metres) |
| AW 0.6 | Average Height of Wall (Metres) |

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level I inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

- x 0.1 Cut/Fill, calculated between design and existing surface contours
- Area to be Cut, as supplied by Colliers International Engineering & Design Pty Ltd
- Area to be Filled, as supplied by Colliers International Engineering & Design Pty Ltd

Lot levels and earthworks derived from Engineering Drawings.



Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD

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 brisbane@dtsqld.com.au mackay@dtsqld.com.au

B	UPDATED ENGINEERING DESIGN & EASEMENT ADDED	28/04/23	DAR	AV
A	ORIGINAL ISSUE	2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
 GOODROCK PROPERTY
 OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/12	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 13

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 41 on RP82952
Locality of Burpengary

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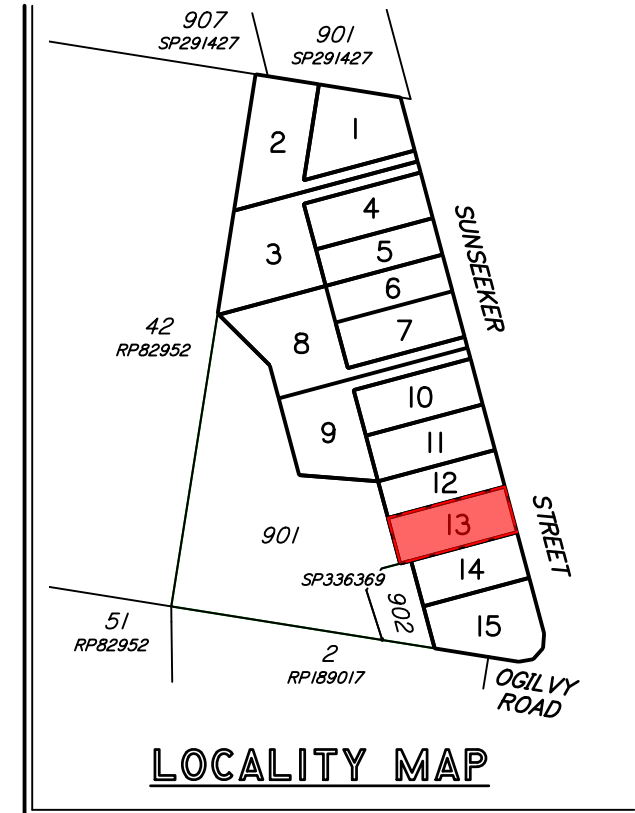
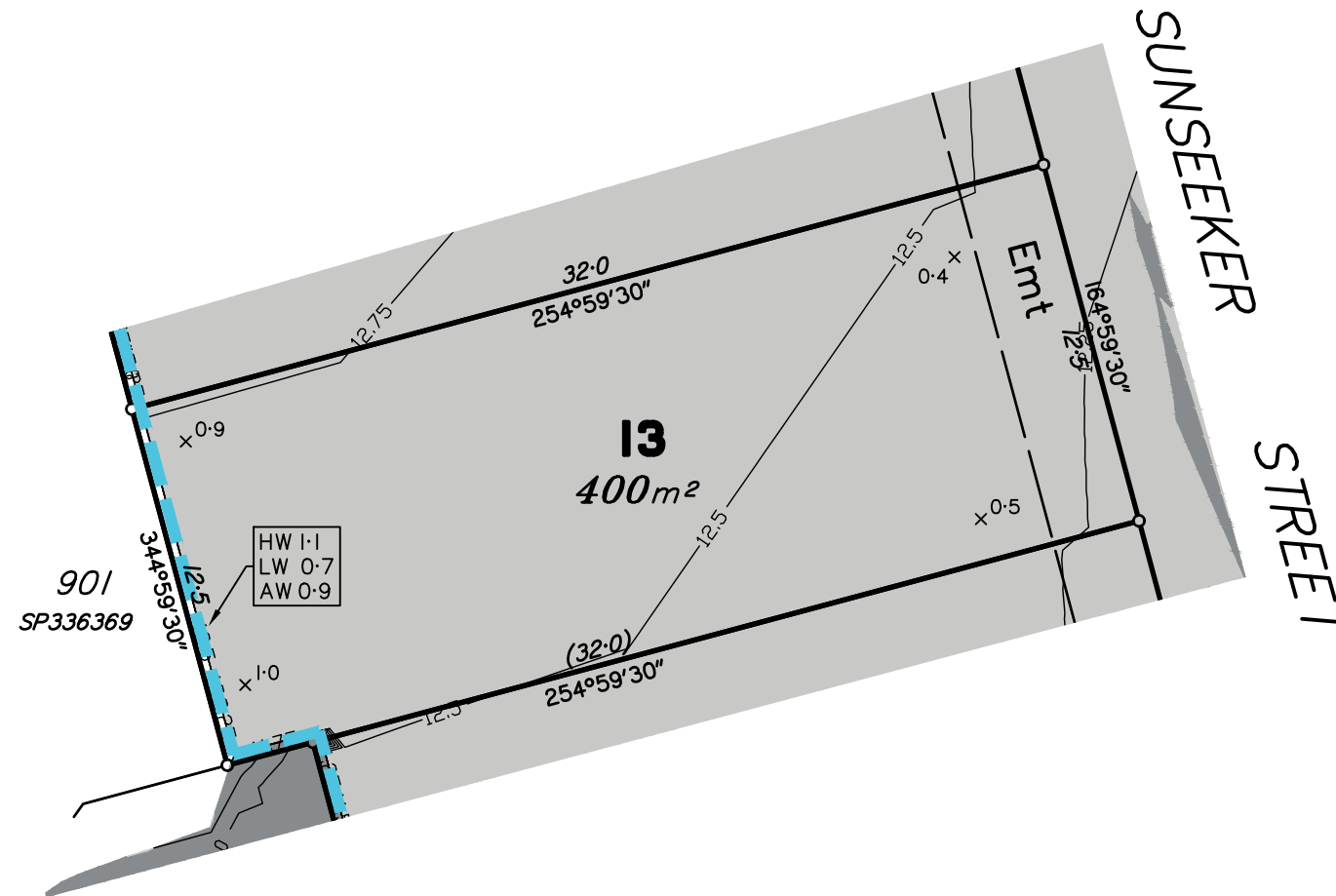
Contour Interval – 0.25 metre

- Design Contours
 - Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- | | |
|--------|--|
| HW 1.0 | Height of Highest Point of Wall (Metres) |
| LW 0.2 | Height of Lowest Point of Wall (Metres) |
| AW 0.6 | Average Height of Wall (Metres) |

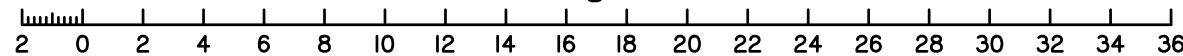
Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level I inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

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- Area to be Filled, as supplied by Colliers International Engineering & Design Pty Ltd

Lot levels and earthworks derived from Engineering Drawings.



Scale 1:250 – Lengths are in Metres.



Meridian: MGA Zone 56 Yes No Contour Height Datum: AHD

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B	UPDATED ENGINEERING DESIGN & EASEMENT ADDED	28/04/23	DAR	AV
A	ORIGINAL ISSUE	2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/13	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 14

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 41 on RP82952
Locality of Burpengary

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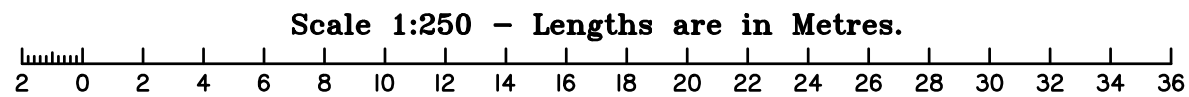
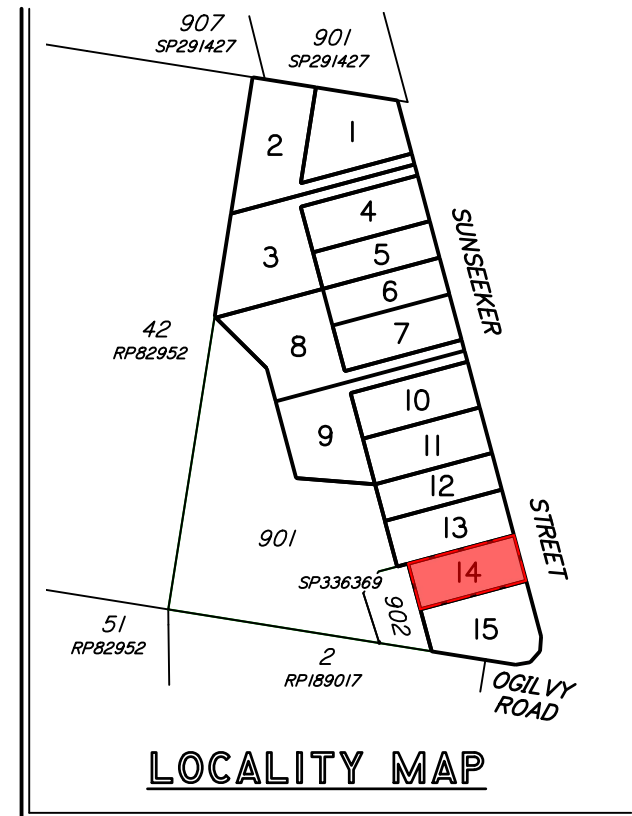
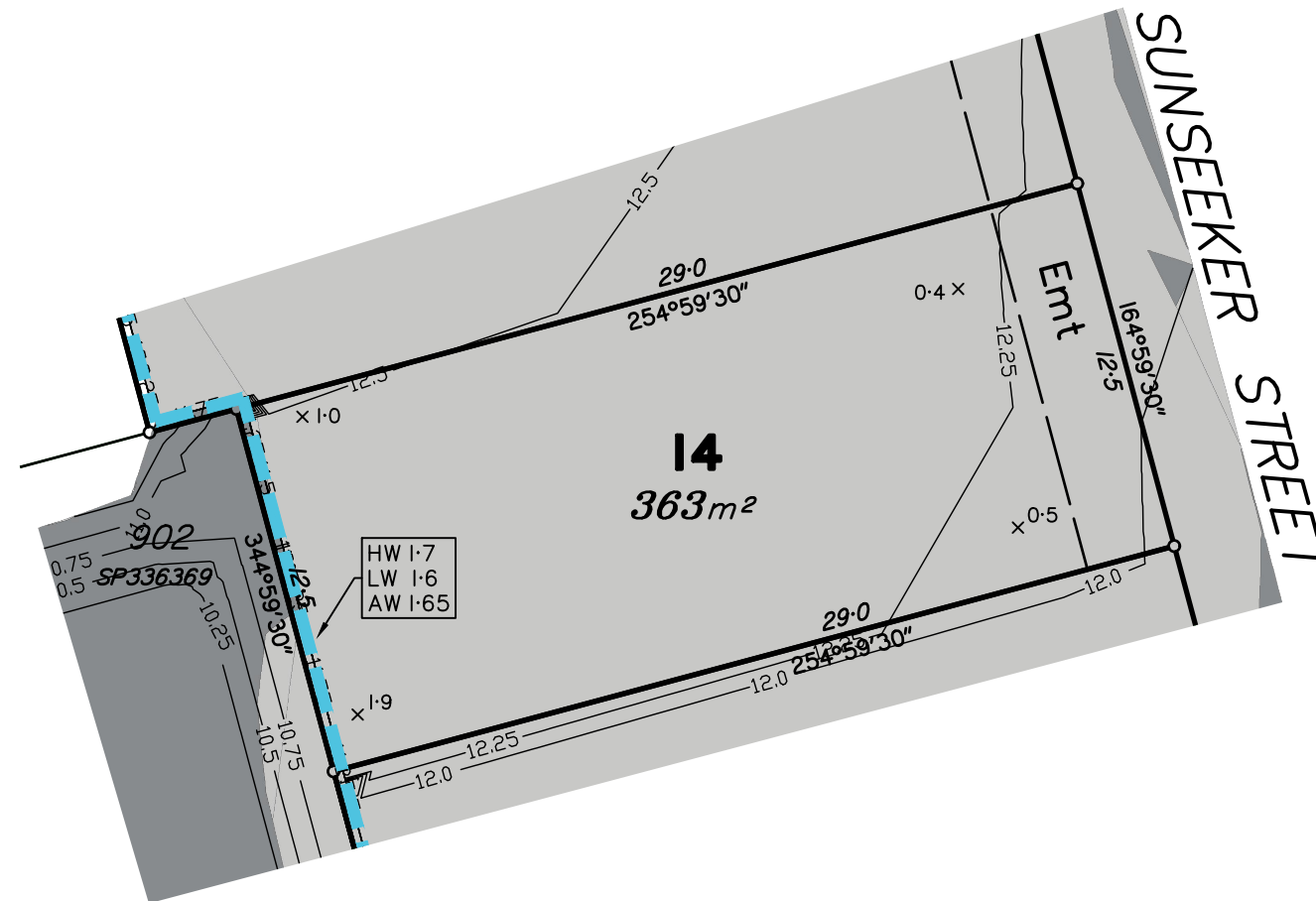
Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0 Height of Highest Point of Wall (Metres)
- LW 0.2 Height of Lowest Point of Wall (Metres)
- AW 0.6 Average Height of Wall (Metres)

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level I inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

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Lot levels and earthworks derived from Engineering Drawings.



Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD

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B	UPDATED ENGINEERING DESIGN & EASEMENT ADDED ORIGINAL ISSUE	28/04/23	DAR	AV
A		2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/14	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	

DISCLOSURE PLAN PROPOSED LOT 15

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 41 on RP82952
Locality of Burpengary

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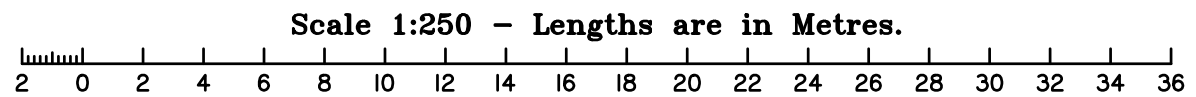
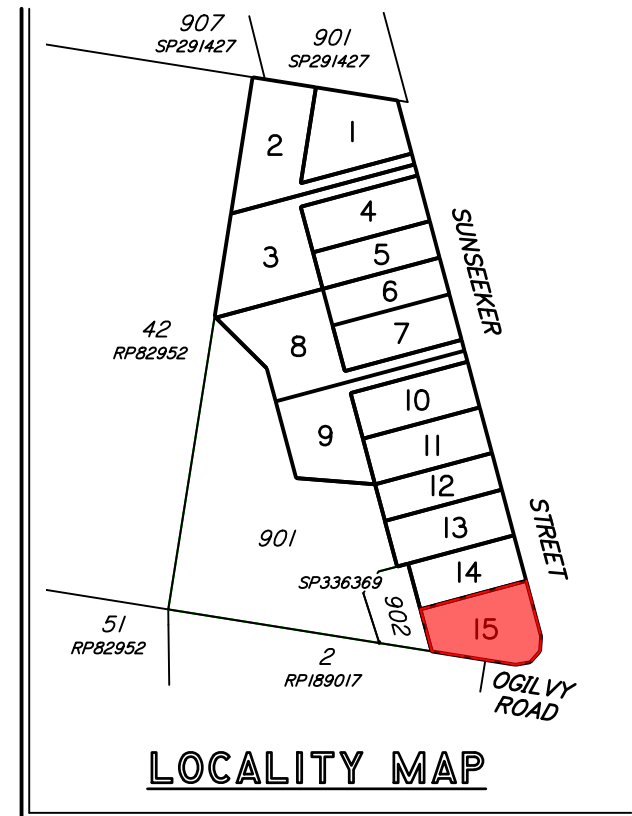
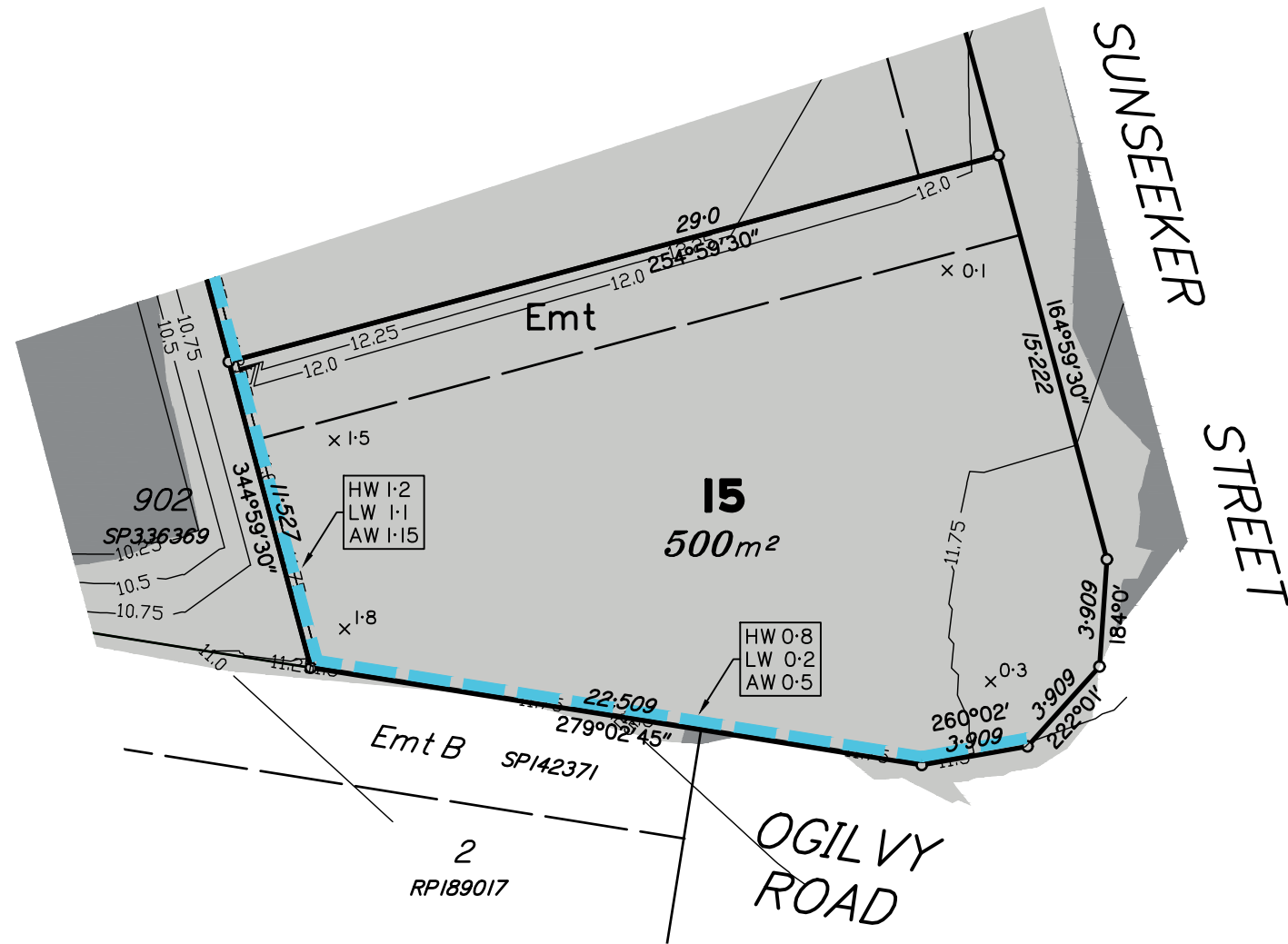
Contour Interval – 0.25 metre

- Design Contours
 - Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- | | |
|--------|--|
| HW 1.0 | Height of Highest Point of Wall (Metres) |
| LW 0.2 | Height of Lowest Point of Wall (Metres) |
| AW 0.6 | Average Height of Wall (Metres) |

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Lot levels and earthworks derived from Engineering Drawings.



Meridian: MGA Zone 56 Yes No
Contour Height Datum: AHD

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B	UPDATED ENGINEERING DESIGN	28/04/23	DAR	AV
A	ORIGINAL ISSUE	2/06/22	DAR	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GOODROCK PROPERTY
OGILVY ROAD, BURPENGARY

Dwg No: A3-6516/15	Issue: B
Project: BNE180387	
File: B180387Dis1.dwg	